

**COPY**

**HARMONY  
COMMUNITY DEVELOPMENT DISTRICT**

**AGENDA PACKAGE**

**Thursday, January 26, 2023**

**Remote Participation:**

Zoom: <https://zoom.us/j/4276669233>

--or--

Call in (audio only) **929-205-6099, ID 4276669233**



313 CAMPUS STREET  
CELEBRATION, FLORIDA 34747  
(407) 566-1935

Harmony Community Development District

Board Members:

- Teresa Kramer, Chair
Daniel Leet, Vice-Chair
Kerul Kassel, Assistant Secretary
Jo Phillips, Assistant Secretary
Dane Short, Assistant Secretary



Staff Members:

- Angel Montagna, District Manager
Sean Israel, District Manager
Michael Eckert, District Counsel
David Hamstra, District Engineer
Brett Perez, Area Field Director

Meeting Order of Business

Thursday, January 26, 2023 - 6:00 pm

- 1. Call to Order and Roll Call
2. Audience Comments (Limited to a Maximum of 3 Minutes)
3. Contractor Reports
A. Servello
4. Consent Agenda
A. Minutes for December 15, 2022, Regular Meeting ...Page 4
B. December 2022 Financial Statements ...Page 5
C. December 2022 General Ledger Detail...Page 20
D. #272 Invoices and Check Register (Invoices Available Upon Request) ...Page 30
5. Staff Reports
A. Green Leaf/Benchmark Merger
B. Field Manager Report ...Page 34
i. Tree Proposals
a. BrightView #497490, Southern Live Oaks Proposal ...Page 69
b. BrightView #501149, Tree Removals ...Page 73
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d. Benchmark #230118-02, Tree Removals ...Page 85
ii. Symbiont Service Maintenance Proposals...Page 87
iii. Update of Staffing Issues
iv. Vandalism on Boardwalks-Security Cameras
v. Frontage Fence
C. District Engineer Report
i. Drainage Repairs at The Estates
ii. Stormwater Inspection of Golf Course Ponds-Report on Cattails in Ponds ...Page 92
iii. Billy's Trail...Page 94
D. District Counsel Report
i. Update on AAA Basketball Resurfacing Project
ii. Update on Records from Former District Counsel and Former Supervisor Berube
iii. Update on Easement Vacation Request from Birchwood Acres
E. District Manager's Report ...Page 97
6. New Business
A. Discussion of Amenity Suspension and Termination Rules
B. Bench Installation on Dark Sky Drive and The Lakes
C. Discussion of Website Maintenance
D. Toho's Interest in Developing a Water Conservation Demonstration Garden in Harmony
E. Discussion of Moving Field Office
7. Old Business
A. Reserve Study Update
B. RV Lot Update ...Page 100
8. Supervisors' Requests
9. Adjournment

The next meeting is scheduled for Thursday, February 23, 2023

District Office:
313 Campus Street
Celebration FL 34747
407-566-1935
www.harmonycdd.org

Meeting Location:
3285 Songbird Circle
St. Cloud, FL 34773
Participate Remotely: Zoom https://zoom.us/j/4276669233
OR dial 929-205-6099, ID 4276669233

# **Section 4**

# **Consent Agenda**

# Subsection 4A

## Meeting Minutes of December 15, 2022

Markup Review Version  
Delivered Under [Separate Cover](#)

# **Subsection 4B**

## **Financials**

**TO: Board of Supervisors, Harmony CDD**  
**FROM: Samantha Smith, Accountant**  
**CC: Angel Montagna, District Manager**  
**DATE: January 11, 2023**  
**SUBJECT: December 2022 Financials**

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Please find the attached December 2022 financial report. During your review, please keep in mind that the goal is for revenue to meet or exceed the annual budget and for expenditures to be at or below the annual budget. To assist with your review, an overview is provided below. Should you have any questions or require additional information, please contact me at Samantha.Smith@Inframark.com.

**General Fund**

- Total Revenue through December is approximately 80% of the annual budget. This is typical for this time of year.
  - Non Ad Valorem Assessment collections are currently at 79%.
- Total Expenditures through December are at 20% of the annual budget.
  - ▶ Administrative
    - P/R-Board of Supervisors - Includes payroll for meetings through December.
    - ProfServ-Engineering - Pegasus Engineering services through November 2022.
    - ProfServ-Legal Services - Kutak Rock general counsel through November 2022.
    - ProfServ-Management Consulting - Contract with Inframark.
    - ProfServ-Recording Secretary - Inframark provides near verbatim minutes.
    - ProfServ-Special Assessment - Assessment roll services.
    - Postage and Freight - FedEx services, postage reimbursements to Inframark and survey mailing.
    - Insurance-General Liability - Egis Insurance Advisors provides auto, general liability, inland marine and property insurance.
    - Legal Advertising - Legal and public notices by Sun Publications.
    - Annual District Filing Fee - FY22-23 filing fee paid to the department of economic opportunity.
  - ▶ Field
    - ProfServ-Field Management - Contract with Inframark.
    - Trailer Rental - Includes monthly rental of 1 container and 1 office trailer.
  - ▶ Landscaping Services
    - Contracts-Irrigation - Contract with Servello and Sons.
    - Contracts-Trees & Trimming - Contract with Servello and Sons.
    - Contracts-Trash & Debris Removal - Contract with Servello and Sons.
    - Contracts-Landscape - Contract with Servello and Sons. Includes credit on November 2022 invoice.
    - Contracts-Shrub/Ground Cover - Contract with Servello and Sons.
    - R&M Irrigation - Includes various irrigation supplies and repairs by Servello and Sons.
    - R&M-Trees and Trimming - Includes tree trimming and replacement by Servello and Sons.
  - ▶ Utilities
    - Electricity-General - Services provided by OUC.
    - Electricity-Streetlighting - Services provided by OUC.
    - Utility-Water & Sewer - Services provided by TOHO.
  - ▶ Operation & Maintenance
    - Utility-Refuse Removal - Services provided by Waste Connections of FL.
    - R&M-Pools - Includes control leases for Ashley Park and splash pad, permits, chemicals.
    - R&M-User Supported Facility - Includes jet clean line at dog park by Tom Parrish Plumbing.
    - R&M-Parks & Facilities - Various supplies and repairs, including dog waste bags, field staff supplies, swing repair, bathroom exhaust fan deposit, patio umbrellas, gate, and mower tires.
    - R&M-Invasive Plant Maintenance - Includes wetland exotics treatment by Aquatic Weed Management.
    - Misc.-Security Enhancements - Includes internet service and ancillary costs.
    - Op Supplies - Fuel, Oil - Includes fuel purchases.
    - Capital Outlay-Vehicles - Includes 2022 club car, purchased from Advantage Golf Cars.
  - ▶ Debt Service
    - Principal Expense - Principal portion of VC1 debt service assessment to be transferred from the general fund to the series 2015 debt service fund in April 2023.
    - Interest Expense - Interest portion of VC1 debt service assessment to be transferred from the general fund to the series 2015 debt service fund in April 2023.

**General Fund Reserves**

- ▶ \$547,006 fund balance = \$1 Million fund balance transferred from General Fund in FY22, minus \$452,994 FY22 expenditures.
- In FY 2019, the general fund loaned the series 2015 debt service fund \$53,231.95 to cover a shortfall. This loan has been repaid.
- In FY 2020, the general fund loaned the series 2015 debt service fund \$4,658.20 to cover a shortfall in October and \$71,193.25 to cover a shortfall in April. These loans have been repaid.

**HARMONY**

Community Development District

*Financial Report*

*December 31, 2022*

**Prepared by**



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**HARMONY**

Community Development District

**Financial Statements**

(Unaudited)

**December 31, 2022**

**HARMONY**

Community Development District

**Governmental Funds**

**Balance Sheet**  
December 31, 2022

ACCOUNT DESCRIPTION	GENERAL FUND	GENERAL FUND RESERVES	SERIES 2014 DEBT SERVICE FUND	SERIES 2015 DEBT SERVICE FUND	TOTAL
<b>ASSETS</b>					
Cash - Checking Account	\$ 845,845	\$ -	\$ -	\$ -	\$ 845,845
Accounts Receivable	10	-	-	-	10
Due From Other Funds	-	547,006	59,919	-	606,925
Investments:					
Money Market Account	1,943,451	-	-	-	1,943,451
Prepayment Account	-	-	6,229	752,479	758,708
Reserve Fund	-	-	607,313	340,000	947,313
Revenue Fund	-	-	1,250,662	624,340	1,875,002
<b>TOTAL ASSETS</b>	<b>\$ 2,789,306</b>	<b>\$ 547,006</b>	<b>\$ 1,924,123</b>	<b>\$ 1,716,819</b>	<b>\$ 6,977,254</b>
<b>LIABILITIES</b>					
Accounts Payable	\$ 145,860	\$ -	\$ -	\$ -	\$ 145,860
Accrued Expenses	7,500	-	-	-	7,500
Due To Other Funds	603,277	-	-	3,648	606,925
<b>TOTAL LIABILITIES</b>	<b>756,637</b>	<b>-</b>	<b>-</b>	<b>3,648</b>	<b>760,285</b>
<b>FUND BALANCES</b>					
<b>Restricted for:</b>					
Debt Service	-	-	1,924,123	1,713,171	3,637,294
<b>Assigned to:</b>					
Operating Reserves	467,801	-	-	-	467,801
<b>Unassigned:</b>	1,564,868	547,006	-	-	2,111,874
<b>TOTAL FUND BALANCES</b>	<b>\$ 2,032,669</b>	<b>\$ 547,006</b>	<b>\$ 1,924,123</b>	<b>\$ 1,713,171</b>	<b>\$ 6,216,969</b>
<b>TOTAL LIABILITIES &amp; FUND BALANCES</b>	<b>\$ 2,789,306</b>	<b>\$ 547,006</b>	<b>\$ 1,924,123</b>	<b>\$ 1,716,819</b>	<b>\$ 6,977,254</b>

**HARMONY**

Community Development District

**General Fund**

**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending December 31, 2022

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
<b><u>REVENUES</u></b>				
Interest - Investments	\$ 3,678	\$ 920	\$ 5,728	\$ 4,808
Interest - Tax Collector	-	-	78	78
Special Assmnts- Tax Collector	2,452,225	1,961,780	1,929,950	(31,830)
Special Assessments-Tax Collector-VC1	(28,737)	(22,990)	-	22,990
Special Assmnts- Discounts	(98,088)	(78,470)	(77,032)	1,438
Other Miscellaneous Revenues	-	-	1,200	1,200
Access Cards	1,200	300	210	(90)
Insurance Reimbursements	-	-	7,709	7,709
Facility Revenue	600	150	-	(150)
User Facility Revenue	15,000	3,750	-	(3,750)
Garden Lot	1,207	303	841	538
<b>TOTAL REVENUES</b>	<b>2,347,085</b>	<b>1,865,743</b>	<b>1,868,684</b>	<b>2,941</b>
<b><u>EXPENDITURES</u></b>				
<b><u>Administration</u></b>				
P/R-Board of Supervisors	14,000	3,501	3,000	501
FICA Taxes	1,071	267	230	37
ProfServ-Arbitrage Rebate	1,200	-	-	-
ProfServ-Dissemination Agent	1,500	-	-	-
ProfServ-Engineering	60,000	15,000	11,414	3,586
ProfServ-Legal Services	60,000	15,000	17,752	(2,752)
ProfServ-Mgmt Consulting	69,250	17,313	17,312	1
ProfServ-Property Appraiser	392	-	-	-
ProfServ-Recording Secretary	4,200	1,050	1,050	-
ProfServ-Special Assessment	8,822	8,822	8,822	-
ProfServ-Trustee Fees	10,160	-	-	-
Auditing Services	4,400	-	-	-
Postage and Freight	1,000	249	110	139
Rental - Meeting Room	3,000	750	-	750
Insurance - General Liability	28,000	28,000	18,732	9,268
Legal Advertising	1,000	249	358	(109)
Misc-Records Storage	1,500	375	-	375
Misc-Assessment Collection Cost	49,045	39,236	37,058	2,178
Annual District Filing Fee	175	175	175	-
<b>Total Administration</b>	<b>318,715</b>	<b>129,987</b>	<b>116,013</b>	<b>13,974</b>
<b><u>Field</u></b>				
ProfServ-Field Management	338,872	84,717	84,718	(1)
Trailer Rental	8,500	2,125	1,740	385
<b>Total Field</b>	<b>347,372</b>	<b>86,842</b>	<b>86,458</b>	<b>384</b>

**HARMONY**

Community Development District

**General Fund**

**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending December 31, 2022

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
<b><u>Landscape Services</u></b>				
Contracts-Mulch	146,608	36,652	-	36,652
Contracts-Irrigation	42,822	10,706	10,706	-
Contracts-Trees & Trimming	46,909	11,727	11,727	-
Contracts-Annuals	12,672	3,168	-	3,168
Contracts-Trash & Debris Removal	19,565	4,891	4,891	-
Contracts - Landscape	294,685	73,671	71,630	2,041
Cntrs-Shrub/Grnd Cover Annual Svc	86,074	21,518	21,519	(1)
R&M-Irrigation	30,000	7,500	5,503	1,997
R&M-Trees and Trimming	40,000	9,999	3,000	6,999
Miscellaneous Services	35,000	8,751	-	8,751
<b>Total Landscape Services</b>	<b>754,335</b>	<b>188,583</b>	<b>128,976</b>	<b>59,607</b>
<b><u>Utilities</u></b>				
Electricity - General	40,700	10,175	8,157	2,018
Electricity - Streetlights	121,000	30,250	29,309	941
Utility - Water & Sewer	198,000	49,500	27,764	21,736
<b>Total Utilities</b>	<b>359,700</b>	<b>89,925</b>	<b>65,230</b>	<b>24,695</b>
<b><u>Operation &amp; Maintenance</u></b>				
Utility - Refuse Removal	3,000	750	828	(78)
R&M-Ponds	20,000	5,000	-	5,000
R&M-Pools	35,000	8,750	2,123	6,627
R&M-Roads & Alleyways	2,000	501	-	501
R&M-Sidewalks	20,000	5,000	-	5,000
R&M-Streetlights	10,000	2,500	-	2,500
R&M-Vehicles	15,000	3,750	-	3,750
R&M-User Supported Facility	5,000	1,250	650	600
R&M-Equipment Boats	10,000	2,500	-	2,500
R&M-Parks & Facilities	25,000	6,249	12,828	(6,579)
R&M-Garden Lot	2,000	500	-	500
R&M-Invasive Plant Maintenance	105,000	26,250	48,500	(22,250)
Security Enhancements	5,700	1,425	1,867	(442)
Op Supplies - Fuel, Oil	8,000	2,000	569	1,431
Cap Outlay - Vehicles	30,000	30,000	10,961	19,039
Reserve - Other	300,000	300,000	-	300,000
<b>Total Operation &amp; Maintenance</b>	<b>595,700</b>	<b>396,425</b>	<b>78,326</b>	<b>318,099</b>
<b><u>Debt Service</u></b>				
Principal Debt Retirement	13,507	-	-	-
Interest Expense	13,093	-	-	-
<b>Total Debt Service</b>	<b>26,600</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>TOTAL EXPENDITURES</b>	<b>2,402,422</b>	<b>891,762</b>	<b>475,003</b>	<b>416,759</b>

**HARMONY**

Community Development District

**General Fund**

**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending December 31, 2022

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
Excess (deficiency) of revenues				
Over (under) expenditures	(55,337)	973,981	1,393,681	419,700
<b><u>OTHER FINANCING SOURCES (USES)</u></b>				
Contribution to (Use of) Fund Balance	(55,337)	-	-	-
<b>TOTAL FINANCING SOURCES (USES)</b>	<b>(55,337)</b>	<b>-</b>	<b>-</b>	<b>-</b>
Net change in fund balance	\$ (55,337)	\$ 973,981	\$ 1,393,681	\$ 419,700
<b>FUND BALANCE, BEGINNING (OCT 1, 2022)</b>	<b>638,988</b>	<b>638,988</b>	<b>638,988</b>	
<b>FUND BALANCE, ENDING</b>	<b>\$ 583,651</b>	<b>\$ 1,612,969</b>	<b>\$ 2,032,669</b>	

**HARMONY**

Community Development District

**General Fund Reserves**

**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending December 31, 2022

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
<b><u>REVENUES</u></b>				
<b>TOTAL REVENUES</b>	-	-	-	-
<b><u>EXPENDITURES</u></b>				
<b>TOTAL EXPENDITURES</b>	-	-	-	-
Excess (deficiency) of revenues Over (under) expenditures	-	-	-	-
Net change in fund balance	\$ -	\$ -	\$ -	\$ -
<b>FUND BALANCE, BEGINNING (OCT 1, 2022)</b>	-	-	<b>547,006</b>	
<b>FUND BALANCE, ENDING</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 547,006</b>	

**HARMONY**

Community Development District

**Series 2014 Debt Service Fund**

**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending December 31, 2022

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
<b><u>REVENUES</u></b>				
Interest - Investments	\$ 61	\$ 15	\$ 17	\$ 2
Special Assmnts- Tax Collector	1,217,276	973,821	967,707	(6,114)
Special Assmnts- Discounts	(48,691)	(38,953)	(38,625)	328
<b>TOTAL REVENUES</b>	<b>1,168,646</b>	<b>934,883</b>	<b>929,099</b>	<b>(5,784)</b>
<b><u>EXPENDITURES</u></b>				
<b><u>Administration</u></b>				
Misc-Assessment Collection Cost	24,345	19,476	18,582	894
<b>Total Administration</b>	<b>24,345</b>	<b>19,476</b>	<b>18,582</b>	<b>894</b>
<b><u>Debt Service</u></b>				
Principal Debt Retirement	695,000	-	-	-
Principal Prepayments	-	-	70,000	(70,000)
Interest Expense	459,663	229,832	229,831	1
<b>Total Debt Service</b>	<b>1,154,663</b>	<b>229,832</b>	<b>299,831</b>	<b>(69,999)</b>
<b>TOTAL EXPENDITURES</b>	<b>1,179,008</b>	<b>249,308</b>	<b>318,413</b>	<b>(69,105)</b>
Excess (deficiency) of revenues Over (under) expenditures	(10,362)	685,575	610,686	(74,889)
<b><u>OTHER FINANCING SOURCES (USES)</u></b>				
Contribution to (Use of) Fund Balance	(10,362)	-	-	-
<b>TOTAL FINANCING SOURCES (USES)</b>	<b>(10,362)</b>	<b>-</b>	<b>-</b>	<b>-</b>
Net change in fund balance	\$ (10,362)	\$ 685,575	\$ 610,686	\$ (74,889)
<b>FUND BALANCE, BEGINNING (OCT 1, 2022)</b>	<b>1,313,437</b>	<b>1,313,437</b>	<b>1,313,437</b>	
<b>FUND BALANCE, ENDING</b>	<b>\$ 1,303,075</b>	<b>\$ 1,999,012</b>	<b>\$ 1,924,123</b>	

**HARMONY**

Community Development District

**Series 2015 Debt Service Fund**

**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending December 31, 2022

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
<b><u>REVENUES</u></b>				
Interest - Investments	\$ 40	\$ 10	\$ 20	\$ 10
Special Assmnts- Tax Collector	796,597	637,278	509,910	(127,368)
Special Assmnts- Other	26,600	-	-	-
Special Assmnts- Prepayment	-	-	752,479	752,479
Special Assmnts- Discounts	(31,864)	(25,491)	(20,349)	5,142
<b>TOTAL REVENUES</b>	<b>791,373</b>	<b>611,797</b>	<b>1,242,060</b>	<b>630,263</b>
<b><u>EXPENDITURES</u></b>				
<b><u>Administration</u></b>				
Misc-Assessment Collection Cost	15,932	12,746	10,544	2,202
<b>Total Administration</b>	<b>15,932</b>	<b>12,746</b>	<b>10,544</b>	<b>2,202</b>
<b><u>Debt Service</u></b>				
Principal Debt Retirement	390,000	-	-	-
Principal Prepayments	-	-	1,165,000	(1,165,000)
Interest Expense	389,775	194,888	194,888	-
<b>Total Debt Service</b>	<b>779,775</b>	<b>194,888</b>	<b>1,359,888</b>	<b>(1,165,000)</b>
<b>TOTAL EXPENDITURES</b>	<b>795,707</b>	<b>207,634</b>	<b>1,370,432</b>	<b>(1,162,798)</b>
Excess (deficiency) of revenues Over (under) expenditures	(4,334)	404,163	(128,372)	(532,535)
<b><u>OTHER FINANCING SOURCES (USES)</u></b>				
Contribution to (Use of) Fund Balance	(4,334)	-	-	-
<b>TOTAL FINANCING SOURCES (USES)</b>	<b>(4,334)</b>	<b>-</b>	<b>-</b>	<b>-</b>
Net change in fund balance	\$ (4,334)	\$ 404,163	\$ (128,372)	\$ (532,535)
<b>FUND BALANCE, BEGINNING (OCT 1, 2022)</b>	<b>1,841,543</b>	<b>1,841,543</b>	<b>1,841,543</b>	
<b>FUND BALANCE, ENDING</b>	<b>\$ 1,837,209</b>	<b>\$ 2,245,706</b>	<b>\$ 1,713,171</b>	



**HARMONY**

Community Development District

**Supporting Schedules**

**December 31, 2022**

**HARMONY**

Community Development District

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**Non-Ad Valorem Special Assessments  
Osceola County Tax Collector - Monthly Collection Report  
For the Fiscal Year Ending September 30, 2023**

					Allocation by Fund		
Date Received	Net Amount Received	Discount/ (Penalties) Amount	Collection Cost	Gross Amount Received	General Fund	Series 2014 Debt Service Fund <sup>(1)</sup>	Series 2015 Debt Service Fund <sup>(1)</sup>
<b>ASSESSMENTS LEVIED FY 2023</b>				\$ 4,328,217	\$ 2,423,488	\$ 1,215,175	\$ 689,554
Allocation %				100%	55.99%	28.08%	15.93%
11/17/22	\$ 13,410	\$ 704	\$ 274	\$ 14,387	\$ 8,056	\$ 4,039	\$ 2,292
11/22/22	\$ 286,879	\$ 12,197	\$ 5,855	\$ 304,931	\$ 170,739	\$ 85,611	\$ 48,580
12/09/22	\$ 2,729,319	\$ 116,043	\$ 55,700	\$ 2,901,062	\$ 1,624,385	\$ 814,492	\$ 462,185
12/22/22	\$ 213,418	\$ 8,631	\$ 4,355	\$ 226,405	\$ 126,771	\$ 63,565	\$ 36,070
Adjustment	\$ (37,649)	\$ (1,569)	\$ -	\$ (39,217)	\$ -	\$ -	\$ (39,217)
<b>TOTAL</b>	<b>\$ 3,205,378</b>	<b>\$ 136,006</b>	<b>\$ 66,184</b>	<b>\$ 3,407,568</b>	<b>\$ 1,929,950</b>	<b>\$ 967,707</b>	<b>\$ 509,910</b>

Collected in % 79%

<b>TOTAL OUTSTANDING</b>	\$ 920,649	\$ 493,538	\$ 247,468	\$ 179,643
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Note (1): Variance between budget and assessment levy is due to prepayments received during the budget process.

**HARMONY**  
Community Development District

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**Cash and Investment Report**  
*December 31, 2022*

<b>General Fund</b>
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<u>Account Name</u>	<u>Bank Name</u>	<u>Investment Type</u>	<u>Maturity</u>	<u>Yield</u>	<u>Balance</u>
Checking Account- Operating	Bank United	Checking Account	n/a	0.00%	\$845,845
Money Market Account	BankUnited	Money Market Account	n/a	3.00%	\$1,943,451
					<b>Subtotal</b>
					\$2,789,296

<b>Debt Service and Capital Projects Funds</b>
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<u>Account Name</u>	<u>Bank Name</u>	<u>Investment Type</u>	<u>Maturity</u>	<u>Yield</u>	<u>Balance</u>
Series 2014 Prepayment Fund	US Bank	US Bank Open-Ended Commercial Paper	n/a	0.005%	\$6,229
Series 2014 Reserve Fund	US Bank	US Bank Open-Ended Commercial Paper	n/a	0.005%	\$607,313
Series 2014 Revenue Fund	US Bank	US Bank Open-Ended Commercial Paper	n/a	0.005%	\$1,250,662
Series 2015 Prepayment Fund	US Bank	US Bank Open-Ended Commercial Paper	n/a	0.005%	\$752,479
Series 2015 Reserve Fund	US Bank	US Bank Open-Ended Commercial Paper	n/a	0.005%	\$340,000
Series 2015 Revenue Fund	US Bank	US Bank Open-Ended Commercial Paper	n/a	0.005%	\$624,340
					<b>Subtotal</b>
					\$3,581,023
					<b>Total</b>
					<b>\$6,370,319</b>

# **Subsection 4C**

## **General Ledger Detail**

**HARMONY COMMUNITY DEVELOPMENT DISTRICT**  
 General Ledger Detailed Report  
 For the Period(s) from Dec 01, 2022 to Dec 31, 2022

**GENERAL FUND**

Type	Date	Doc No.	Source Name	Reference Memo	Amount	Balance
<b>GL Account: 361001 - Interest - Investments</b>					<b>Beginning Balance:</b>	<b>(\$2,371.96)</b>
JE	12/30/2022	BANK INT	Journal Entry	Interest Income - Bank United MM	(\$3,355.98)	(\$5,727.94)
					<b>Ending Balance:</b>	<b>(\$3,355.98) (\$5,727.94)</b>
<b>GL Account: 361006 - Interest - Tax Collector</b>					<b>Beginning Balance:</b>	<b>(\$77.57)</b>
					<b>Ending Balance:</b>	<b>\$0.00 (\$77.57)</b>
<b>GL Account: 363010 - Special Assmnts- Tax Collector</b>					<b>Beginning Balance:</b>	<b>(\$178,795.06)</b>
JE	12/9/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	(\$1,624,384.77)	(\$1,803,179.83)
JE	12/22/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	(\$126,770.59)	(\$1,929,950.42)
					<b>Ending Balance:</b>	<b>(\$1,751,155.36) (\$1,929,950.42)</b>
<b>GL Account: 363090 - Special Assmnts- Discounts</b>					<b>Beginning Balance:</b>	<b>\$7,223.50</b>
JE	12/9/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	\$64,975.45	\$72,198.95
JE	12/22/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	\$4,832.93	\$77,031.88
					<b>Ending Balance:</b>	<b>\$69,808.38 \$77,031.88</b>
<b>GL Account: 369900 - Other Miscellaneous Revenues</b>					<b>Beginning Balance:</b>	<b>(\$1,200.00)</b>
					<b>Ending Balance:</b>	<b>\$0.00 (\$1,200.00)</b>
<b>GL Account: 369941 - Access Cards</b>					<b>Beginning Balance:</b>	<b>(\$170.00)</b>
Deposit	12/23/2022	DEP01062	Bank Account: Bank United GF	POOL CARD- 6913 BEARGRASS RD	(\$20.00)	(\$190.00)
Deposit	12/23/2022	DEP01062	Bank Account: Bank United GF	POOL CARD	(\$20.00)	(\$210.00)
					<b>Ending Balance:</b>	<b>(\$40.00) (\$210.00)</b>
<b>GL Account: 369958 - Insurance Reimbursements</b>					<b>Beginning Balance:</b>	<b>\$0.00</b>
Deposit	12/23/2022	DEP01062	Bank Account: Bank United GF	Insurance Reim-FIA PROPERTY CLAIMS	(\$4,319.00)	(\$4,319.00)
Deposit	12/23/2022	DEP01062	Bank Account: Bank United GF	Insurance Reim-FIA PROPERTY CLAIMS	(\$3,389.65)	(\$7,708.65)
					<b>Ending Balance:</b>	<b>(\$7,708.65) (\$7,708.65)</b>
<b>GL Account: 369993 - Garden Lot</b>					<b>Beginning Balance:</b>	<b>(\$840.70)</b>
					<b>Ending Balance:</b>	<b>\$0.00 (\$840.70)</b>
<b>Department Name: Legislative (51101)</b>						
<b>GL Account: 511001 - P/R-Board of Supervisors</b>					<b>Beginning Balance:</b>	<b>\$2,200.00</b>
Payroll	12/21/2022	PAYRO00340	Journal Entry	Summary of December 21, 2022 Payroll Posting	\$800.00	\$3,000.00
					<b>Ending Balance:</b>	<b>\$800.00 \$3,000.00</b>
<b>GL Account: 521001 - FICA Taxes</b>					<b>Beginning Balance:</b>	<b>\$168.30</b>
Payroll	12/21/2022	PAYRO00340	Journal Entry	Summary of December 21, 2022 Payroll Posting	\$61.20	\$229.50
					<b>Ending Balance:</b>	<b>\$61.20 \$229.50</b>

**HARMONY COMMUNITY DEVELOPMENT DISTRICT**  
 General Ledger Detailed Report  
 For the Period(s) from Dec 01, 2022 to Dec 31, 2022

**GENERAL FUND**

Type	Date	Doc No.	Source Name	Reference Memo	Amount	Balance
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**Department Name: Financial and Administrative (51301)**

<b>GL Account: 531027 - ProfServ-Mgmt Consulting</b>					<b>Beginning Balance:</b>	<b>\$11,541.66</b>
JE	12/1/2022	ACCRUAL	Journal Entry	Accrue November Mngt Srvc	(\$5,770.83)	\$5,770.83
Purchase	12/6/2022	86578	Vendor: INFRAMARK, LLC	MNGT SRVCS NOV 2022	\$5,770.83	\$11,541.66
Purchase	12/20/2022	87210	Vendor: INFRAMARK, LLC	ProfServ-Mgmt Consulting Serv DEC MNGT SRVCS	\$5,770.83	\$17,312.49
					<b>Ending Balance:</b>	<b>\$5,770.83</b>
						<b>\$17,312.49</b>

<b>GL Account: 531036 - ProfServ-Recording Secretary</b>					<b>Beginning Balance:</b>	<b>\$700.00</b>
JE	12/1/2022	ACCRUAL	Journal Entry	Accrue November Mngt Srvc	(\$350.00)	\$350.00
Purchase	12/6/2022	86578	Vendor: INFRAMARK, LLC	MNGT SRVCS NOV 2022	\$350.00	\$700.00
Purchase	12/20/2022	87210	Vendor: INFRAMARK, LLC	DEC MNGT SRVCS	\$350.00	\$1,050.00
					<b>Ending Balance:</b>	<b>\$350.00</b>
						<b>\$1,050.00</b>

<b>GL Account: 531038 - ProfServ-Special Assessment</b>					<b>Beginning Balance:</b>	<b>\$0.00</b>
Purchase	12/20/2022	87210	Vendor: INFRAMARK, LLC	DEC MNGT SRVCS	\$8,822.00	\$8,822.00
					<b>Ending Balance:</b>	<b>\$8,822.00</b>
						<b>\$8,822.00</b>

<b>GL Account: 541006 - Postage and Freight</b>					<b>Beginning Balance:</b>	<b>\$50.48</b>
JE	12/1/2022	ACCRUAL	Journal Entry	Accrue November Mngt Srvc	(\$11.40)	\$39.08
Purchase	12/1/2022	7-961-03828	Vendor: FEDEX	SRVCS THRU 11/29/22	\$21.65	\$60.73
Purchase	12/6/2022	7-968-23935	Vendor: FEDEX	SRVCS THRU 12/06/22	\$21.34	\$82.07
Purchase	12/6/2022	86578	Vendor: INFRAMARK, LLC	MNGT SRVCS NOV 2022	\$11.40	\$93.47
Purchase	12/20/2022	87210	Vendor: INFRAMARK, LLC	DEC MNGT SRVCS	\$16.53	\$110.00
					<b>Ending Balance:</b>	<b>\$59.52</b>
						<b>\$110.00</b>

<b>GL Account: 545002 - Insurance - General Liability</b>					<b>Beginning Balance:</b>	<b>\$18,732.00</b>
					<b>Ending Balance:</b>	<b>\$0.00</b>
						<b>\$18,732.00</b>

<b>GL Account: 548002 - Legal Advertising</b>					<b>Beginning Balance:</b>	<b>\$358.15</b>
					<b>Ending Balance:</b>	<b>\$0.00</b>
						<b>\$358.15</b>

<b>GL Account: 549070 - Misc-Assessment Collection Cost</b>					<b>Beginning Balance:</b>	<b>\$3,431.44</b>
JE	12/9/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	\$31,188.18	\$34,619.62
JE	12/22/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	\$2,438.75	\$37,058.37
					<b>Ending Balance:</b>	<b>\$33,626.93</b>
						<b>\$37,058.37</b>

<b>GL Account: 554007 - Annual District Filing Fee</b>					<b>Beginning Balance:</b>	<b>\$175.00</b>
					<b>Ending Balance:</b>	<b>\$0.00</b>
						<b>\$175.00</b>

**Department Name: Legal Counsel (51401)**

<b>GL Account: 531023 - ProfServ-Legal Services</b>					<b>Beginning Balance:</b>	<b>\$9,816.38</b>
Purchase	12/13/2022	3154213	Vendor: KUTAK ROCK LLP	GEN COUNSEL THRU 11/30/22	\$7,935.50	\$17,751.88
					<b>Ending Balance:</b>	<b>\$7,935.50</b>
						<b>\$17,751.88</b>

**HARMONY COMMUNITY DEVELOPMENT DISTRICT**  
 General Ledger Detailed Report  
 For the Period(s) from Dec 01, 2022 to Dec 31, 2022

**GENERAL FUND**

Type	Date	Doc No.	Source Name	Reference Memo	Amount	Balance
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**Department Name: Comprehensive Planning (51501)**

<b>GL Account: 531013 - ProfServ-Engineering</b>					<b>Beginning Balance:</b>	<b>\$0.00</b>
Purchase	12/29/2022	226384	Vendor: PEGASUS ENGINEERING, LLC	09/25/22-11/19/22 ENG SRVCS	\$11,413.67	\$11,413.67
					<b>Ending Balance:</b>	<b>\$11,413.67</b>

**Department Name: Field (53901)**

<b>GL Account: 531016 - ProfServ-Field Management</b>					<b>Beginning Balance:</b>	<b>\$56,478.66</b>
JE	12/1/2022	ACCRUAL	Journal Entry	Accrue November Mngt Srvc	(\$28,239.33)	\$28,239.33
Purchase	12/6/2022	86578	Vendor: INFRAMARK, LLC	MNGT SRVCS NOV 2022	\$28,239.33	\$56,478.66
Purchase	12/20/2022	87210	Vendor: INFRAMARK, LLC	DEC MNGT SRVCS	\$28,239.33	\$84,717.99
					<b>Ending Balance:</b>	<b>\$84,717.99</b>

<b>GL Account: 544012 - Trailer Rental</b>					<b>Beginning Balance:</b>	<b>\$1,160.00</b>
Purchase	12/2/2022	9016104009 EFT	Vendor: WILLIAMS SCOTSMAN, INC. - EFT	12/02/22-01/01/23 OFFICE TRAILER LEASE	\$490.00	\$1,650.00
Purchase	12/2/2022	9016109514	Vendor: MOBILE MINI, INC.	12/02/22-01/01/23 40' CONTAINER LEASE	\$90.00	\$1,740.00
					<b>Ending Balance:</b>	<b>\$580.00</b>

**Department Name: Landscape Services (53902)**

<b>GL Account: 534073 - Contracts-Irrigation</b>					<b>Beginning Balance:</b>	<b>\$7,137.00</b>
JE	12/1/2022	ACCRUAL	Journal Entry	Accrue November Irrigation - Servello	(\$3,568.50)	\$3,568.50
Purchase	12/1/2022	22964	Vendor: SERVELLO & SONS INC	NOV 2022 LANDSCAPE MAINTENANCE	\$3,568.50	\$7,137.00
Purchase	12/1/2022	23145	Vendor: SERVELLO & SONS INC	DEC 2022 LANDSCAPE MAINT	\$3,568.50	\$10,705.50
					<b>Ending Balance:</b>	<b>\$10,705.50</b>

<b>GL Account: 534085 - Contracts-Trees &amp; Trimming</b>					<b>Beginning Balance:</b>	<b>\$7,818.16</b>
JE	12/1/2022	ACCRUAL	Journal Entry	Accrue November Tree Trimming - Servello	(\$3,909.08)	\$3,909.08
Purchase	12/1/2022	22964	Vendor: SERVELLO & SONS INC	NOV 2022 LANDSCAPE MAINTENANCE	\$3,909.08	\$7,818.16
Purchase	12/1/2022	23145	Vendor: SERVELLO & SONS INC	DEC 2022 LANDSCAPE MAINT	\$3,909.08	\$11,727.24
					<b>Ending Balance:</b>	<b>\$11,727.24</b>

<b>GL Account: 534121 - Contracts-Trash &amp; Debris Removal</b>					<b>Beginning Balance:</b>	<b>\$3,260.84</b>
JE	12/1/2022	ACCRUAL	Journal Entry	Accrue November Trash & Debris Removal - Servello	(\$1,630.42)	\$1,630.42
Purchase	12/1/2022	22964	Vendor: SERVELLO & SONS INC	NOV 2022 LANDSCAPE MAINTENANCE	\$1,630.42	\$3,260.84
Purchase	12/1/2022	23145	Vendor: SERVELLO & SONS INC	DEC 2022 LANDSCAPE MAINT	\$1,630.42	\$4,891.26
					<b>Ending Balance:</b>	<b>\$4,891.26</b>

<b>GL Account: 534171 - Contracts - Landscape</b>					<b>Beginning Balance:</b>	<b>\$47,072.42</b>
JE	12/1/2022	ACCRUAL	Journal Entry	Accrue November Landscape - Servello	(\$24,557.16)	\$22,515.26
JE	12/1/2022	JE004373	Journal Entry	Accrue Credit on November Landscape - Servello	\$2,041.90	\$24,557.16
Purchase	12/1/2022	22964	Vendor: SERVELLO & SONS INC	NOV 2022 LANDSCAPE MAINTENANCE	\$22,515.26	\$47,072.42
Purchase	12/1/2022	23145	Vendor: SERVELLO & SONS INC	Cntrs-Landscape/Irrigation Maint		
				DEC 2022 LANDSCAPE MAINT	\$24,557.16	\$71,629.58
				Cntrs-Landscape/Irrigation Maint		
					<b>Ending Balance:</b>	<b>\$24,557.16</b>

**HARMONY COMMUNITY DEVELOPMENT DISTRICT**  
 General Ledger Detailed Report  
 For the Period(s) from Dec 01, 2022 to Dec 31, 2022

**GENERAL FUND**

Type	Date	Doc No.	Source Name	Reference Memo	Amount	Balance
<b>GL Account: 534172 - Cntrs-Shrub/Grnd Cover Annual Svc</b>					<b>Beginning Balance:</b>	<b>\$14,345.68</b>
JE	12/1/2022	ACCRUAL	Journal Entry	Accrue November Shrub/Grnd Cover - Servello	(\$7,172.84)	\$7,172.84
Purchase	12/1/2022	22964	Vendor: SERVELLO & SONS INC	NOV 2022 LANDSCAPE MAINTENANCE	\$7,172.84	\$14,345.68
Purchase	12/1/2022	23145	Vendor: SERVELLO & SONS INC	DEC 2022 LANDSCAPE MAINT	\$7,172.84	\$21,518.52
					<b>Ending Balance:</b>	<b>\$7,172.84</b>

<b>GL Account: 546041 - R&amp;M-Irrigation</b>					<b>Beginning Balance:</b>	<b>\$4,883.67</b>
JE	12/1/2022	ACCRUAL	Journal Entry	Accrue November Irrig Rprs - Servello	(\$313.00)	\$4,570.67
Purchase	12/1/2022	23230	Vendor: SERVELLO & SONS INC	RPLCD POP UP	\$288.00	\$4,858.67
Purchase	12/6/2022	23262	Vendor: SERVELLO & SONS INC	RPLC 2 SYCAMORE TREES & WATER BAGS/KITS	\$140.00	\$4,998.67
					Water bags / kits	
Purchase	12/6/2022	23264	Vendor: SERVELLO & SONS INC	RPLC SYCAMORE TREE & KIT/WATER BAG	\$70.00	\$5,068.67
					Kit / Water Bag	
Purchase	12/30/2022	23424	Vendor: SERVELLO & SONS INC	MAINLINE BREAK RPR	\$433.87	\$5,502.54
					Kit / Water Bag	
					<b>Ending Balance:</b>	<b>\$618.87</b>

<b>GL Account: 546099 - R&amp;M-Trees and Trimming</b>					<b>Beginning Balance:</b>	<b>\$840.00</b>
Purchase	12/6/2022	23262	Vendor: SERVELLO & SONS INC	RPLC 2 SYCAMORE TREES & WATER BAGS/KITS	\$1,440.00	\$2,280.00
					2 Sycamore Trees	
Purchase	12/6/2022	23264	Vendor: SERVELLO & SONS INC	RPLC SYCAMORE TREE & KIT/WATER BAG	\$720.00	\$3,000.00
					Sycamore Tree	
					<b>Ending Balance:</b>	<b>\$2,160.00</b>

**Department Name: Utilities (53903)**

<b>GL Account: 543006 - Electricity - General</b>					<b>Beginning Balance:</b>	<b>\$4,748.99</b>
Purchase	12/8/2022	120822-9921 ACH	Vendor: ORLANDO UTILITIES COMMISSION-ACH	11/08/22-12/08/22 UTILITIES	\$3,408.02	\$8,157.01
					<b>Ending Balance:</b>	<b>\$3,408.02</b>

<b>GL Account: 543013 - Electricity - Streetlights</b>					<b>Beginning Balance:</b>	<b>\$19,535.56</b>
Purchase	12/8/2022	120822-9921 ACH	Vendor: ORLANDO UTILITIES COMMISSION-ACH	11/08/22-12/08/22 UTILITIES	\$9,773.81	\$29,309.37
					Electricity - Streetlighting	
					<b>Ending Balance:</b>	<b>\$9,773.81</b>

<b>GL Account: 543021 - Utility - Water &amp; Sewer</b>					<b>Beginning Balance:</b>	<b>\$20,263.79</b>
JE	12/1/2022	ACCRUAL	Journal Entry	Accrue November Water Utilities - Toho	(\$11,082.50)	\$9,181.29
Purchase	12/1/2022	111722-8389 ACH	Vendor: TOHO WATER AUTHORITY - ACH	10/18/22-11/17/22 UTILITIES	\$10,994.41	\$20,175.70
Purchase	12/1/2022	120122-8389 ACH	Vendor: TOHO WATER AUTHORITY - ACH	11/01/22-12/01/22 UTILITIES	\$88.09	\$20,263.79
JE	12/31/2022	ACCRUAL	Journal Entry	Accrue December Water Utilities - Toho	\$7,500.00	\$27,763.79
					<b>Ending Balance:</b>	<b>\$7,500.00</b>

**Department Name: Operation & Maintenance (53910)**

<b>GL Account: 543020 - Utility - Refuse Removal</b>					<b>Beginning Balance:</b>	<b>\$552.00</b>
Purchase	12/1/2022	1419335W460	Vendor: WASTE CONNECTIONS OF FL.	12/01/22-12/31/22 TRASH PICKUP	\$276.00	\$828.00
					<b>Ending Balance:</b>	<b>\$276.00</b>



**HARMONY COMMUNITY DEVELOPMENT DISTRICT**  
 General Ledger Detailed Report  
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**GENERAL FUND**

Type	Date	Doc No.	Source Name	Reference Memo	Amount	Balance
<b>GL Account: 546074 - R&amp;M-Pools</b>					<b>Beginning Balance:</b>	<b>\$1,307.75</b>
Purchase	12/1/2022	101295637005	Vendor: POOLSURE	DEC SPLASH PAD CNTRL LEASE	\$35.00	\$1,342.75
Purchase	12/1/2022	101295637004	Vendor: POOLSURE	DEC ASHLEY PARK CNTRL LEASE	\$60.00	\$1,402.75
Purchase	12/8/2022	101295637773	Vendor: POOLSURE	SWIM CLUB BLEACH & CAL CHLORIDE	\$331.88	\$1,734.63
Purchase	12/21/2022	101295638359	Vendor: POOLSURE	SWIM CLUB BLEACH & ACID	\$388.50	\$2,123.13
					<b>Ending Balance:</b>	<b>\$815.38</b>
<b>GL Account: 546159 - R&amp;M-User Supported Facility</b>					<b>Beginning Balance:</b>	<b>\$0.00</b>
Purchase	12/1/2022	101	Vendor: TOM PARRISH PLUMBING LLC	JET CLEAN LINE AT DOG PARK	\$650.00	\$650.00
					<b>Ending Balance:</b>	<b>\$650.00</b>
<b>GL Account: 546225 - R&amp;M-Parks &amp; Facilities</b>					<b>Beginning Balance:</b>	<b>\$5,997.05</b>
JE	12/1/2022	ACCRUAL	Journal Entry	Accrue November Mngt Svcs	(\$1,239.85)	\$4,757.20
Purchase	12/1/2022	5172132	Vendor: HEAVENLY COOLING and HEATING LLC	POOL BATHROOM EXHAUST FAN - FINAL	\$3,650.00	\$8,407.20
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	Pool Bathroom Exhaust Fan - Deposit CC PURCH THRU 11/23/22	\$143.20	\$8,550.40
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	AMAZON CC PURCH THRU 11/23/22	\$9.51	\$8,559.91
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	HOME DEPOT CC PURCH THRU 11/23/22	\$105.98	\$8,665.89
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	AMAZON CC PURCH THRU 11/23/22	\$322.46	\$8,988.35
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	HOME DEPOT CC PURCH THRU 11/23/22	\$121.68	\$9,110.03
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	AMAZON CC PURCH THRU 11/23/22	\$238.22	\$9,348.25
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	HOME DEPOT CC PURCH THRU 11/23/22	\$165.99	\$9,514.24
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	AMAZON CC PURCH THRU 11/23/22	\$25.99	\$9,540.23
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	AMAZON CC PURCH THRU 11/23/22	\$42.36	\$9,582.59
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	AMAZON CC PURCH THRU 11/23/22	\$47.97	\$9,630.56
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	AMAZON CC PURCH THRU 11/23/22	\$44.82	\$9,675.38
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	HOME DEPOT CC PURCH THRU 11/23/22	\$185.70	\$9,861.08
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	HOME DEPOT CC PURCH THRU 11/23/22	\$99.94	\$9,961.02
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	AMAZON CC PURCH THRU 11/23/22	\$59.97	\$10,020.99
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	AMAZON CC PURCH THRU 11/23/22	\$75.00	\$10,095.99
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	AMAZON CC PURCH THRU 11/23/22	\$145.00	\$10,240.99
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	TOHO MARINE CC PURCH THRU 11/23/22	\$159.99	\$10,400.98
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	AMAZON CC PURCH THRU 11/23/22	\$100.97	\$10,501.95
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	AMAZON CC PURCH THRU 11/23/22	\$1,009.89	\$11,511.84
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	AMAZON CC PURCH THRU 11/23/22	\$76.00	\$11,587.84
Purchase	12/6/2022	86578	Vendor: INFRAMARK, LLC	MNGT SRVCS NOV 2022	\$197.39	\$11,785.23
Purchase	12/6/2022	86578	Vendor: INFRAMARK, LLC	home depot-supplies MNGT SRVCS NOV 2022	\$122.72	\$11,907.95
				home depot-supplies		

**HARMONY COMMUNITY DEVELOPMENT DISTRICT**  
 General Ledger Detailed Report  
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**GENERAL FUND**

Type	Date	Doc No.	Source Name	Reference Memo	Amount	Balance
Purchase	12/6/2022	86578	Vendor: INFRAMARK, LLC	MNGT SRVCS NOV 2022	\$76.20	\$11,984.15
				amazon-supplies		
Purchase	12/6/2022	86578	Vendor: INFRAMARK, LLC	MNGT SRVCS NOV 2022	\$65.93	\$12,050.08
				amazon-restroom supplies		
Purchase	12/6/2022	86578	Vendor: INFRAMARK, LLC	MNGT SRVCS NOV 2022	\$105.97	\$12,156.05
				amazon-waders		
Purchase	12/6/2022	86578	Vendor: INFRAMARK, LLC	MNGT SRVCS NOV 2022	\$580.00	\$12,736.05
				avalon pool cleaning-pool repair		
Purchase	12/6/2022	86578	Vendor: INFRAMARK, LLC	MNGT SRVCS NOV 2022	\$289.03	\$13,025.08
				trash bags		
Purchase	12/20/2022	87210	Vendor: INFRAMARK, LLC	DEC MNGT SRVCS	(\$197.39)	\$12,827.69
				home depot refund		
<b>Ending Balance:</b>					<b>\$6,830.64</b>	<b>\$12,827.69</b>
<hr/>						
<b>GL Account: 546904 - R&amp;M-Invasive Plant Maintenance</b>					<b>Beginning Balance:</b>	<b>\$0.00</b>
Purchase	12/21/2022	15291	Vendor: AQUATIC WEED MANAGEMENT, INC.	WETLAND EXOTICS TREATMENT	\$48,500.00	\$48,500.00
				mitgfation		
<b>Ending Balance:</b>					<b>\$48,500.00</b>	<b>\$48,500.00</b>
<hr/>						
<b>GL Account: 549911 - Security Enhancements</b>					<b>Beginning Balance:</b>	<b>\$477.92</b>
Purchase	12/1/2022	028483501113022 ACH	Vendor: BRIGHT HOUSE NETWORKS - ACH	11/28/22-12/27/220050284835-01	\$114.98	\$592.90
				Misc-Security Enhancements		
Purchase	12/7/2022	028483401120722 ACH	Vendor: BRIGHT HOUSE NETWORKS - ACH	12/06/22-01/05/23 0050284834-01	\$123.98	\$716.88
				Misc-Security Enhancements		
Purchase	12/29/2022	4334	Vendor: SERV US@, LLC	200 ACCESS CONTROL CARDS	\$1,150.00	\$1,866.88
				Misc-Security Enhancements		
<b>Ending Balance:</b>					<b>\$1,388.96</b>	<b>\$1,866.88</b>
<hr/>						
<b>GL Account: 552030 - Op Supplies - Fuel, Oil</b>					<b>Beginning Balance:</b>	<b>\$24.76</b>
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	CC PURCH THRU 11/23/22	\$108.09	\$132.85
				SUNOCO		
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	CC PURCH THRU 11/23/22	\$85.88	\$218.73
				SUNOCO		
Purchase	12/1/2022	11777-112322 ACH	Vendor: CARDMEMBER SERVICES	CC PURCH THRU 11/23/22	\$125.00	\$343.73
				SUNOCO		
Purchase	12/20/2022	87210	Vendor: INFRAMARK, LLC	DEC MNGT SRVCS	\$125.67	\$469.40
				7-eleven gas		
Purchase	12/20/2022	87210	Vendor: INFRAMARK, LLC	DEC MNGT SRVCS	\$100.00	\$569.40
				sunoco gas for trucks		
<b>Ending Balance:</b>					<b>\$544.64</b>	<b>\$569.40</b>
<hr/>						
<b>GL Account: 564041 - Cap Outlay - Vehicles</b>					<b>Beginning Balance:</b>	<b>\$0.00</b>
Purchase	12/1/2022	120122	Vendor: ADVANTAGE GOLF CARS INC.	2022 CLUB CAR	\$10,961.00	\$10,961.00
<b>Ending Balance:</b>					<b>\$10,961.00</b>	<b>\$10,961.00</b>

**HARMONY COMMUNITY DEVELOPMENT DISTRICT**  
 General Ledger Detailed Report  
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**SERIES 2014 DEBT SERVICE FUND**

Type	Date	Doc No.	Source Name	Reference Memo	Amount	Balance
<b>GL Account: 361001 - Interest - Investments</b>					<b>Beginning Balance:</b>	<b>(\$11.04)</b>
JE	12/1/2022	TS 2	Journal Entry	Interest - Reserve	(\$2.53)	(\$13.57)
JE	12/1/2022	TS 3	Journal Entry	Interest - Prepayment	(\$0.03)	(\$13.60)
JE	12/2/2022	TS 1	Journal Entry	Interest - Revenue	(\$1.63)	(\$15.23)
					<b>Ending Balance:</b>	<b>(\$4.19)</b>

<b>GL Account: 363010 - Special Assmnts- Tax Collector</b>					<b>Beginning Balance:</b>	<b>(\$89,650.63)</b>
JE	12/9/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	(\$814,491.85)	(\$904,142.48)
JE	12/22/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	(\$63,564.75)	(\$967,707.23)
					<b>Ending Balance:</b>	<b>(\$878,056.60)</b>

<b>GL Account: 363090 - Special Assmnts- Discounts</b>					<b>Beginning Balance:</b>	<b>\$3,621.97</b>
JE	12/9/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	\$32,579.71	\$36,201.68
JE	12/22/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	\$2,423.31	\$38,624.99
					<b>Ending Balance:</b>	<b>\$35,003.02</b>

**Department Name: Financial and Administrative (51301)**

<b>GL Account: 549070 - Misc-Assessment Collection Cost</b>					<b>Beginning Balance:</b>	<b>\$1,720.57</b>
JE	12/9/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	\$15,638.25	\$17,358.82
JE	12/22/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	\$1,222.83	\$18,581.65
					<b>Ending Balance:</b>	<b>\$16,861.08</b>

<b>GL Account: 571006 - Principal Prepayments</b>					<b>Beginning Balance:</b>	<b>\$70,000.00</b>
					<b>Ending Balance:</b>	<b>\$0.00</b>

<b>GL Account: 572001 - Interest Expense</b>					<b>Beginning Balance:</b>	<b>\$229,831.25</b>
					<b>Ending Balance:</b>	<b>\$0.00</b>

**HARMONY COMMUNITY DEVELOPMENT DISTRICT**  
 General Ledger Detailed Report  
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**SERIES 2015 DEBT SERVICE FUND**

Type	Date	Doc No.	Source Name	Reference Memo	Amount	Balance
<b>GL Account: 361001 - Interest - Investments</b>					<b>Beginning Balance:</b>	<b>(\$15.73)</b>
JE	12/1/2022	TS03	Journal Entry	Interest - Reserve	(\$1.42)	(\$17.15)
JE	12/1/2022	TS05	Journal Entry	Interest - Prepayment	(\$1.38)	(\$18.53)
JE	12/2/2022	TS04	Journal Entry	Interest - Revenue	(\$0.57)	(\$19.10)
					<b>Ending Balance:</b>	<b>(\$3.37) (\$19.10)</b>

<b>GL Account: 363010 - Special Assmnts- Tax Collector</b>					<b>Beginning Balance:</b>	<b>(\$50,872.44)</b>
Purchase	12/5/2022	R120522-0810	Vendor: RICHARD ERIC JANSSON	REFUND FOR 2022-2023 TAX BILL	\$1,918.41	(\$48,954.03)
Purchase	12/5/2022	R120522-0840	Vendor: FERNANDO MARQUES	RUFUND FOR 2022-2023 TAX BILL	\$1,918.41	(\$47,035.62)
Purchase	12/5/2022	R120522-0580	Vendor: JUAN A OVALLE	REFUND FOR 2022-2023 TAX BILL	\$1,432.69	(\$45,602.93)
Purchase	12/5/2022	R120522-0480	Vendor: KATHERINE MIRANDA	REFUND FOR 2022-2023 TAX BILL	\$1,790.86	(\$43,812.07)
Purchase	12/5/2022	R120522-0530	Vendor: HORNEDO DANNY J CABALLERO	REFUND FOR 2022-2023 TAX BILL	\$1,790.86	(\$42,021.21)
Purchase	12/5/2022	R120522-0590	Vendor: NELSON ELEAZAR CRUZ-BIANCHI	RUFUND FPR 2022-2023 TAX BILL	\$1,432.69	(\$40,588.52)
Purchase	12/5/2022	R120522-0560	Vendor: LI JUAN	REFUND FOR 2022-2023 TAX BILL	\$1,790.86	(\$38,797.66)
Purchase	12/5/2022	R120522-0610	Vendor: JAMES F PENN III	REFUND FOR 2022-2023 TAX BILL	\$1,432.69	(\$37,364.97)
Purchase	12/5/2022	R120522-0630	Vendor: LOAIZA DIEGO A GUEVARA	REFUND FOR 2022-2023-TAX BILL	\$1,432.69	(\$35,932.28)
Purchase	12/5/2022	R120522-0670	Vendor: SANDOVAL J AVIER A HERNANDEZ	REFUND FOR 2022-2023 TAX BILL	\$1,432.69	(\$34,499.59)
Purchase	12/5/2022	R120522-0280	Vendor: RICHARD LORAIN JOHN JR	REFUND FOR 2022-2023 TAX BILL	\$1,918.41	(\$32,581.18)
Purchase	12/5/2022	R120522-1680	Vendor: INEREA CORPORATION INC	REFUND FOR 2022-2023 TAX BILL	\$1,918.41	(\$30,662.77)
Purchase	12/5/2022	R120522-1670	Vendor: ROCIO MONSERRATTE LUDEWIG	RUFUND FOR 2022-2023 TAX BILL	\$1,918.41	(\$28,744.36)
Purchase	12/5/2022	R120522-0700	Vendor: SANDOVAL MARCEL ANDRES HERNANDEZ	REFUND FOR 2022-2023 TAX BILL	\$1,432.69	(\$27,311.67)
Purchase	12/5/2022	R120522-0030	Vendor: MUHAMMAD ASAD KHAN	REFUND FOR 2022-2023 TAX BILL	\$1,432.69	(\$25,878.98)
Purchase	12/5/2022	R120522-0560	Vendor: LI JUAN	REFUND FOR 2022-2023 TAX BILL	(\$1,790.86)	(\$27,669.84)
Purchase	12/6/2022	R120622-0410	Vendor: MARK A JUDGE	REFUND FOR 2022-2023 TAX BILL	\$2,302.10	(\$25,367.74)
Purchase	12/6/2022	R120622-0680	Vendor: SHAELLA M PEREZ	REFUND FOR 2022-2023 TAX BILL	\$1,432.69	(\$23,935.05)
Purchase	12/6/2022	R120622-0210	Vendor: JOSEPH J SLEDZ	REFUND FOR 2022-2023 TAX BILL	\$1,534.73	(\$22,400.32)
Purchase	12/6/2022	R120622-0540	Vendor: KRISTIN MICHELLEMACARI	REFUND FOR 2022-2023 TAX BILL	\$1,790.86	(\$20,609.46)
Purchase	12/6/2022	R120622-0570	Vendor: JUAN LI	REFUND FOR 2022-2023 TAX BILL	\$1,790.86	(\$18,818.60)
Purchase	12/6/2022	R120622-0510	Vendor: THALIA L VEGA-GINORIO	REFUND FOR 2022-2023 TAX BILL	\$1,790.86	(\$17,027.74)
Purchase	12/6/2022	R120622-0460	Vendor: MIGUEL ANGEL RODRIGUEZ	REFUND FOR 2022-2023 TAX BILL	\$1,790.86	(\$15,236.88)
Purchase	12/6/2022	R120622-0520	Vendor: ALEXIS VELEZ	REFUND FOR 2022-2023 TAX BILL	\$1,790.86	(\$13,446.02)
Purchase	12/6/2022	R120622-0570	Vendor: SEBASTIAN MOYA	REFUND FOR 2022-2023 TAX BILL	\$1,790.86	(\$11,655.16)
Purchase	12/6/2022	R120622-0560	Vendor: JUAN LI	REFUND FOR 2022-2023 TAX BILL	\$1,790.86	(\$9,864.30)
Purchase	12/6/2022	R120622-0570	Vendor: JUAN LI	REFUND FOR 2022-2023 TAX BILL	(\$1,790.86)	(\$11,655.16)
JE	12/9/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	(\$462,185.13)	(\$473,840.29)
JE	12/22/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	(\$36,069.95)	(\$509,910.24)
					<b>Ending Balance:</b>	<b>(\$459,037.80) (\$509,910.24)</b>

<b>GL Account: 363030 - Special Assmnts- Prepayment</b>					<b>Beginning Balance:</b>	<b>(\$511,204.27)</b>
JE	12/13/2022	TS06	Journal Entry	Ck 115979 Bankunified	(\$13,255.30)	(\$524,459.57)
JE	12/13/2022	TS07	Journal Entry	Ck 115969 Bankunified	(\$13,255.30)	(\$537,714.87)
JE	12/13/2022	TS08	Journal Entry	Ck 116220 Bankunified	(\$18,560.94)	(\$556,275.81)
JE	12/13/2022	TS09	Journal Entry	Ck 116239 Bankunified	(\$18,560.94)	(\$574,836.75)
JE	12/13/2022	TS10	Journal Entry	Ck 116324 Bankunified	(\$18,560.94)	(\$593,397.69)
JE	12/13/2022	TS11	Journal Entry	Ck 116358 Bankunified	(\$18,560.94)	(\$611,958.63)
JE	12/13/2022	TS12	Journal Entry	Ck 116242 Bankunified	(\$18,560.94)	(\$630,519.57)
JE	12/13/2022	TS13	Journal Entry	Ck 116368 Bankunified	(\$18,560.94)	(\$649,080.51)
JE	12/13/2022	TS14	Journal Entry	Ck 116313 Bankunified	(\$18,560.94)	(\$667,641.45)
JE	12/13/2022	TS15	Journal Entry	Ck 116023 Bankunified	(\$18,560.94)	(\$686,202.39)
JE	12/13/2022	TS16	Journal Entry	Ck 116130 Bankunified	(\$13,255.30)	(\$699,457.69)

**HARMONY COMMUNITY DEVELOPMENT DISTRICT**  
 General Ledger Detailed Report  
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**SERIES 2015 DEBT SERVICE FUND**

Type	Date	Doc No.	Source Name	Reference Memo	Amount	Balance
JE	12/13/2022	TS17	Journal Entry	Ck 116408 Bankunified	(\$13,255.30)	(\$712,712.99)
JE	12/29/2022	TS23	Journal Entry	Ck 116636 Bankunified	(\$13,255.30)	(\$725,968.29)
JE	12/29/2022	TS24	Journal Entry	Ck 116601 Bankunified	(\$13,255.30)	(\$739,223.59)
JE	12/29/2022	TS25	Journal Entry	Ck 116626 Bankunified	(\$13,255.30)	(\$752,478.89)
<b>Ending Balance:</b>					<b>(\$241,274.62)</b>	<b>(\$752,478.89)</b>

<b>GL Account: 363090 - Special Assmnts- Discounts</b>				<b>Beginning Balance:</b>	<b>\$2,055.29</b>	
Purchase	12/5/2022	R120522-0810	Vendor: RICHARD ERIC JANSSON	REFUND FOR 2022-2023 TAX BILL	(\$76.74)	\$1,978.55
Purchase	12/5/2022	R120522-0840	Vendor: FERNANDO MARQUES	RUFUND FOR 2022-2023 TAX BILL	(\$76.74)	\$1,901.81
Purchase	12/5/2022	R120522-0580	Vendor: JUAN A OVALLE	REFUND FOR 2022-2023 TAX BILL	(\$57.31)	\$1,844.50
Purchase	12/5/2022	R120522-0480	Vendor: KATHERINE MIRANDA	REFUND FOR 2022-2023 TAX BILL	(\$71.63)	\$1,772.87
Purchase	12/5/2022	R120522-0530	Vendor: HORNEDO DANNY J CABALLERO	REFUND FOR 2022-2023 TAX BILL	(\$71.63)	\$1,701.24
Purchase	12/5/2022	R120522-0590	Vendor: NELSON ELEAZAR CRUZ-BIANCHI	RUFUND FPR 2022-2023 TAX BILL	(\$57.31)	\$1,643.93
Purchase	12/5/2022	R120522-0560	Vendor: LI JUAN	REFUND FOR 2022-2023 TAX BILL	(\$71.63)	\$1,572.30
Purchase	12/5/2022	R120522-0610	Vendor: JAMES F PENN III	REFUND FOR 2022-2023 TAX BILL	(\$57.31)	\$1,514.99
Purchase	12/5/2022	R120522-0630	Vendor: LOAIZA DIEGO A GUEVARA	REFUND FOR 2022-2023-TAX BILL	(\$57.31)	\$1,457.68
Purchase	12/5/2022	R120522-0670	Vendor: SANDOVAL J AVIER A HERNANDEZ	REFUND FOR 2022-2023 TAX BILL	(\$57.31)	\$1,400.37
Purchase	12/5/2022	R120522-0280	Vendor: RICHARD LORAIN JOHN JR	REFUND FOR 2022-2023 TAX BILL	(\$76.74)	\$1,323.63
Purchase	12/5/2022	R120522-1680	Vendor: INEREA CORPORATION INC	REFUND FOR 2022-2023 TAX BILL	(\$76.74)	\$1,246.89
Purchase	12/5/2022	R120522-1670	Vendor: ROCIO MONSERRATTE LUDEWIG	RUFUND FOR 2022-2023 TAX BILL	(\$76.74)	\$1,170.15
Purchase	12/5/2022	R120522-0700	Vendor: SANDOVAL MARCEL ANDRES HERNANDEZ	REFUND FOR 2022-2023 TAX BILL	(\$57.31)	\$1,112.84
Purchase	12/5/2022	R120522-0030	Vendor: MUHAMMAD ASAD KHAN	REFUND FOR 2022-2023 TAX BILL	(\$57.31)	\$1,055.53
Purchase	12/5/2022	R120522-0560	Vendor: LI JUAN	REFUND FOR 2022-2023 TAX BILL	\$71.63	\$1,127.16
Purchase	12/6/2022	R120622-0410	Vendor: MARK A JUDGE	REFUND FOR 2022-2023 TAX BILL	(\$92.08)	\$1,035.08
Purchase	12/6/2022	R120622-0680	Vendor: SHAELLA M PEREZ	REFUND FOR 2022-2023 TAX BILL	(\$57.31)	\$977.77
Purchase	12/6/2022	R120622-0210	Vendor: JOSEPH J SLEDZ	REFUND FOR 2022-2023 TAX BILL	(\$61.39)	\$916.38
Purchase	12/6/2022	R120622-0540	Vendor: KRISTIN MICHELLEMACARI	REFUND FOR 2022-2023 TAX BILL	(\$71.63)	\$844.75
Purchase	12/6/2022	R120622-0570	Vendor: JUAN LI	REFUND FOR 2022-2023 TAX BILL	(\$71.63)	\$773.12
Purchase	12/6/2022	R120622-0510	Vendor: THALIA L VEGA-GINORIO	REFUND FOR 2022-2023 TAX BILL	(\$71.63)	\$701.49
Purchase	12/6/2022	R120622-0460	Vendor: MIGUEL ANGEL RODRIGUEZ	REFUND FOR 2022-2023 TAX BILL	(\$71.63)	\$629.86
Purchase	12/6/2022	R120622-0520	Vendor: ALEXIS VELEZ	REFUND FOR 2022-2023 TAX BILL	(\$71.63)	\$558.23
Purchase	12/6/2022	R120622-0570	Vendor: SEBASTIAN MOYA	REFUND FOR 2022-2023 TAX BILL	(\$71.63)	\$486.60
Purchase	12/6/2022	R120622-0560	Vendor: JUAN LI	REFUND FOR 2022-2023 TAX BILL	(\$71.63)	\$414.97
Purchase	12/6/2022	R120622-0570	Vendor: JUAN LI	REFUND FOR 2022-2023 TAX BILL	\$71.63	\$486.60
JE	12/9/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	\$18,487.43	\$18,974.03
JE	12/22/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	\$1,375.11	\$20,349.14
<b>Ending Balance:</b>					<b>\$18,293.85</b>	<b>\$20,349.14</b>

**Department Name: Financial and Administrative (51301)**

<b>GL Account: 549070 - Misc-Assessment Collection Cost</b>				<b>Beginning Balance:</b>	<b>\$976.34</b>	
JE	12/9/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	\$8,873.96	\$9,850.30
JE	12/22/2022	ASSESSMENTS	Journal Entry	RCVD ASSESSMENTS OSCEOLA COUNTY	\$693.92	\$10,544.22
<b>Ending Balance:</b>					<b>\$9,567.88</b>	<b>\$10,544.22</b>

<b>GL Account: 571006 - Principal Prepayments</b>				<b>Beginning Balance:</b>	<b>\$1,165,000.00</b>	
<b>Ending Balance:</b>					<b>\$0.00</b>	<b>\$1,165,000.00</b>

<b>GL Account: 572001 - Interest Expense</b>				<b>Beginning Balance:</b>	<b>\$194,887.50</b>	
<b>Ending Balance:</b>					<b>\$0.00</b>	<b>\$194,887.50</b>

# **Subsection 4D**

# **Invoices and Check Register**

## Harmony

Community Development District

General Fund

### Invoice Approval Report # 272

**January 17, 2023**

Payee	Invoice Number	A= Approval R= Ratification	Invoice Amount
<b>AQUATIC WEED MANAGEMENT, INC.</b>	15291	R	\$ 48,500.00
		Vendor Total	\$ 48,500.00
<b>BRIGHT HOUSE NETWORKS - ACH</b>	028483501113022 ACH	R	\$ 114.98
	028483401120722 ACH	R	\$ 123.98
	028483501123022 ACH	R	\$ 114.98
		Vendor Total	\$ 353.94
<b>CARDMEMBER SERVICES</b>	112322=1777 ACH	R	\$ 3,499.61
		Vendor Total	\$ 3,499.61
<b>FEDEX</b>	7-997-42204	R	\$ 22.55
	7-968-23935	R	\$ 21.34
		Vendor Total	\$ 43.89
<b>HARMONY CDD C/O U.S. BANK</b>	121222-2	R	\$ 434,823.74
	121222-1	R	\$ 766,273.89
	011023-1	R	\$ 93,207.51
	011023-2	R	\$ 15,242.20
		Vendor Total	\$ 1,309,547.34
<b>INFRAMARK, LLC</b>	86578	A	\$ 35,769.80
	87210	A	\$ 43,226.97
		Vendor Total	\$ 78,996.77
<b>KUTAK ROCK LLP</b>	3154213	R	\$ 7,935.50
		Vendor Total	\$ 7,935.50
<b>MARLON SCOTT dba 4M&amp;J SERVICES, LLC</b>	192	R	\$ 822.49
		Vendor Total	\$ 822.49
<b>MOBILE MINI, INC.</b>	9016109514	R	\$ 90.00
		Vendor Total	\$ 90.00
<b>ORLANDO UTILITIES COMMISSION-ACH</b>	120822-9921 ACH	R	\$ 13,181.83
		Vendor Total	\$ 13,181.83
<b>PEGASUS ENGINEERING, LLC</b>	226384	A	\$ 11,413.67
		Vendor Total	\$ 11,413.67
<b>POOLSURE</b>	101295637773	R	\$ 331.88
	101295638079	R	\$ 35.00
	101295638359	R	\$ 388.50
	101295638078	R	\$ 60.00
		Vendor Total	\$ 815.38

## Harmony

Community Development District

General Fund

**Invoice Approval Report # 272**

**January 17, 2023**

Payee	Invoice Number	A= Approval R= Ratification	Invoice Amount
SERV US@, LLC	4334	R	\$ 1,150.00
		Vendor Total	\$ 1,150.00
SERVELLO & SONS INC	23230	R	\$ 288.00
	23262	R	\$ 1,580.00
	23264	R	\$ 790.00
	23145	R	\$ 40,838.00
	23424	R	\$ 433.87
Vendor Total			\$ 43,929.87
TOHO WATER AUTHORITY - ACH	111722-8389 ACH	R	\$ 11,082.50
	120122-8389 ACH	R	\$ 7,478.40
Vendor Total			\$ 18,560.90
TOM PARRISH PLUMBING LLC	101	R	\$ 650.00
Vendor Total			\$ 650.00
WASTE CONNECTIONS OF FL.	142366W460	R	\$ 309.12
Vendor Total			\$ 309.12
WILLIAMS SCOTSMAN, INC. - EFT dba WILLSCOT	9016104009 EFT	R	\$ 490.00
	9016411567 EFT	R	\$ 490.00
Vendor Total			\$ 980.00

**Total Invoices \$ 1,540,780.31**



# **Section 5**

# **Staff Reports**

# **Subsection 5B**

# **Field Manager's Report**

**Harmony CDD Meeting Field Report – January 2023**

- **Sidewalk Grinding Completed:**

(Sidewalk Grinding after December meeting to report in January)

1. Pocket Park – Alleyway Primrose Willow (4 Panels)
2. Cat Brier Tr. 3310, 3318, 3320, 3124 (8 Panels)
3. 3218 Bayflower (3 Panels)
4. Cat Brier Tr. 3334, 3330, 3306. (15 Panels)
5. Bluestem Rd. 6973, 6977, 6979, 6978. (8 Panels)
6. Cat Brier 3318, 3320, 3224. (8 Panels)

- **Pressure Washing Completed:**

1. US-192 Fence
2. Pocket Park (Alleyway)
3. Claybrick Rd. Ornamental Wall
4. Five Oaks East. Ornamental wall

- **Tasks Completed:**

1. Splashpad new water pump installation.
2. Swim Club Entrance Fence and gate re-painted.
3. Mulch Installation in alleyway Pocket Park.
4. Swim Club Signs replacements.
5. Ashley Pool Signs Replacements.
6. 30 Slats or Rails on the boardwalks damaged by vandalism in Buck Lake.
7. Bench restoration in Townsquare.
8. Splashpad Equipment Fence Cover installation.

- **Notes:**

1. 25 ID Access cards worked in December after the meeting to January.
2. Emails Received and handled was 162.
3. Calls Received and handled more than 101, in the days that I was available working.
4. Text messages received and handled 30, Texts in the days that I was available working.

**Harmony CDD Meeting Field Report – January 2023**

- **Procedures:**

1. Vendor Alberto Lucente from Servusat brought the new access card order.
2. Spies installed the new splashpad water pump, but the main lines and pipes need a back wash, we will be getting estimates from different vendors.
3. Lazrazy Fence provided the estimate to the two fence broken areas repair.
4. Sunshades Awning provide the estimate for the Pavilion Gazebo replacement in Buck Lakeshore.
5. New Trolling motor pedal installed in one Bass boat.
6. The 16 Ft. Sun Tracker seats are in upholstery.
7. Brightview completed the tree trimming procedure.
8. Servello is still trimming trees throughout Harmony.
9. Mrs. Jessica Sullivan from IFA, Inspected the trees in 6838 Sundrop St; 6979 Bluestem Rd; 6850 Sundrop St; East Five Oaks Dr. (Near of Feathergrass and Middlebrook) and three trees planted in Cupseed and Pond Pines.
10. Educational Signs waiting proposals from vendors.
11. Two changeable signs to be installed in both entrances, waiting proposals.
12. Symbiont Heater installed in Swim Club proposal for repair and proposal for replacement.



## Harmony CDD Previous Month Site Audit Follow-Up –January 2023

- Item 1: Completed, no action needed.
- Item 2: Non-Completed, action needed.
- Item 3: Non-Completed, action needed.
- Item 4: Completed, no action needed.
- Item 5: Completed, no action needed.
- Item 6: Completed, no action needed.
- Item 7: Non-Completed, action needed.
- Item 8: Completed, no action needed.
- Item 9: Completed, no action needed.
- Item 10: In Process, left side completed.
- Item 11: Completed, no action needed.
- Item 12: Non-Completed, action needed.
- Item 13: Completed, no action needed.
- Item 14: Non-Completed, action needed.
- Item 15: Completed, no action needed.
- Item 16: Completed, no action needed.
- Item 17: Pending, in process.
- Item 18: Pending, in process.
- Item 19: Pending, in process.
- Item 20: Pending, in process.
- Item 21: Non-Completed, action needed.
- Item 22: Sign ordered and pending installation.
- Item 23: Completed, no action needed.
- Item 24: Completed, no action needed.
- Item 25: Completed, no action needed.
- Item 26: Non-Completed, action needed.
- Item 27: Non-Completed, action needed.
- Item 28: Non-Completed, action needed.
- Item 29: Non-Completed, action needed.
- Item 30: In process.
- Item 31: In process.
- Item 32: In process.
- Item 33: In process.
- Item 34: Non-Completed, action needed.
- Item 35: Completed, no action needed.
- Item 36: Completed, no action needed.
- Item 37: Non-Completed, action needed.
- Item 38: Completed, no action needed.
- Item 39: Completed, no action needed.
- Item 40: Completed, no action needed.
- Item 41: Completed, no action needed.



## Harmony CDD Previous Month Site Audit Follow-Up –January 2023

- Item 42: Completed, no action needed.
- Item 43: In process.
- Item 44: Non-Completed, action needed.
- Item 45: Completed, no action needed.
- Item 46: Completed, no action needed.
- Item 47: Non-Completed, action needed.
- Item 48: Completed, no action needed.

# **JANUARY 2023 FIELD INSPECTION**

**Harmony CDD**

**Monday, January 9, 2023**

**48 Items Identified**



**Item 1 - Splashpad**

Assigned To Servello

Empty spots, plants was cut off.



**Item 2 - Behind US-192 Fence / West**

Assigned To Servello

Dead tree need to be removed.

Pending proposal.





**Item 3 - Behind US-192 Fence / West**

Assigned To Servello

Throughout the fence, the Palmettos needs attention, dryer leaves.



**Item 4 - West Entrance**

Assigned To Servello

Bushes needs attention, rest of tree branches needs to be removed.



**Item 5 - West Entrance Sign**

Assigned To Servello

Ant mounds, needs to be sprayed.



**Item 6 - West Entrance Sign**

Assigned To Inframark

Needs to be painted.



**Item 7 - West Entrance**

Assigned To Servello

Empty spots, needs new plants.



**Item 8 - West Entrance Sign**

Assigned To Inframark

Sign needs pressure washing.



**Item 9 - US-192 Fence / West Side**

Assigned To Servello

Palmettos needs attention, dried leaves.



**Item 10 - US-192 Fence / West Side**

Assigned To Inframark

Fence on process of pressure washing.



**Item 11 - West Entrance Median**

Assigned To Servello

Dead plant, needs proposal of removal and replacement.



**Item 12 - Behind Fence US-192 / West Side**

Assigned To Servello

Pine tree broken in the middle.  
Needs proposal.



**Item 13 - Behind Fence US-192 / West Side**

Assigned To Servello  
Bushes needs the hedges.



**Item 14 - 6806 Little Blue Ln.**

Assigned To Servello  
Leaner tree, need proposal.



**Item 15 - 3444 Schoolhouse Rd**

Assigned To Servello

Ants mounds needs attention.



**Item 16 - Schoolhouse Rd.**

Assigned To Servello

The bushes needs the hedges.



**Item 17 - Schoolhouse Rd.**

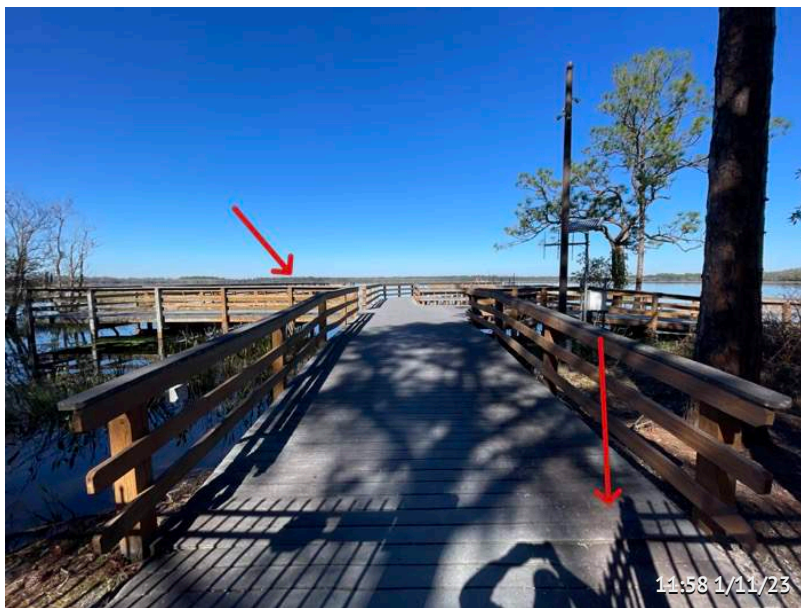
Assigned To Inframark  
Deer signs replacement and pole paint.



**Item 18 - Buck Ln. Park**

Assigned To Inframark  
The floor squares throughout the park needs to be painted.





**Item 19 - Buck Lake Dock**

Assigned To Inframark

The dock needs to be pressure washed.



**Item 20 - Buck Lake Pavillion**

Assigned To Inframark

Shade cover replacement, proposal sent to be covered by the insurance.



**Item 21 - Buck Lake Playground**

Assigned To Servello

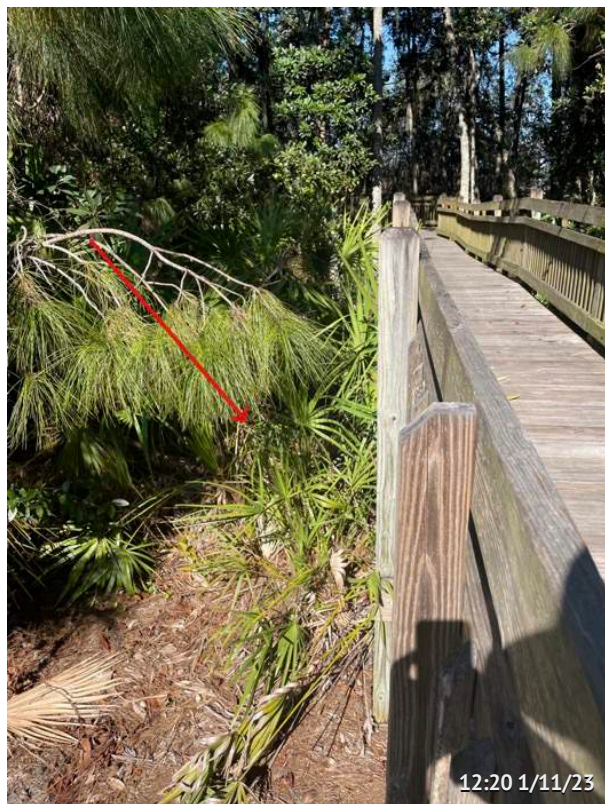
The tree branches needs to be trimmed up, proposal needed.



**Item 22 - Dog Station #64**

Assigned To Inframark

Sign needs to be replaced.



**Item 23 - Buck Lakeshore Wood Trail #1**

Assigned To Servello

Palm plants needs to be trimmed up, are touching the trail.



**Item 24 - Tunnel Bridge Entrance**

Assigned To Servello

Plants needs attentions, needs to be cleaned up.



**Item 25 - Five Oaks Dr. Parking Lot Entrance**

Assigned To Servello  
Plants needs attention.



**Item 26 - East Entrance**

Assigned To Servello  
Empty spots, need a new plants proposal.



**Item 27 - East Entrance**

Assigned To Servello

Empty spots.



**Item 28 - East Entrance**

Assigned To Servello

Empty spots, need a proposal for a new plants.



**Item 29 - Ashley Pool**

Assigned To Servello  
Empty spots.



**Item 30 - Ashley Pool**

Assigned To Servello  
The tree branches needs to be  
trimmed up proposal.



**Item 31 - Ashley Pool**

Assigned To Servello

The tree branches needs to be trimmed up proposal. The branches are touching the shade cover and the pergola.



**Item 32 - Ashley Pool**

Assigned To Servello

The tree branches needs to be trimmed up proposal.



**Item 33 - Ashley Pool**

Assigned To Inframark

Pergola needs to be painted but first Servello needs to be trimmed up.



**Item 34 - Dog Park Cat Brier Tr.**

Assigned To Servello

Behind the shed, the bushes need to be trimmed down.





**Item 35 - Cat Brier Tr / Golf Course Side**

Assigned To Servello  
Sod burned.



**Item 36 - Five Oks Dr. Roundabout**

Assigned To Servello  
Plants needs attention.



**Item 37 - Five Oaks Dr.**

Assigned To Servello

The palmettos needs attention.



**Item 38 - Five Oaks Dr.**

Assigned To Servello

The Palmettos needs attention.



**Item 39 - Swim Club**

Assigned To Servello

The tree branches needs to be trimmed up.



**Item 40 - Swim Club**

Assigned To Servello

The plants needs attention, dried plant.



**Item 41 - Swim Club**

Assigned To Servello  
Weeds growing between mulch,  
needs attention.



**Item 42 - Swim Club**

Assigned To Servello  
Behind the fence, back side, garden  
needs attention.



**Item 43 - Swim Club**

Assigned To Inframark

The pergola needs to be painted.



**Item 44 - Swim Club**

Assigned To Servello

Behind Fence, back side, the garden needs attention.



**Item 45 - Five Oaks Dr. Dog Park**

Assigned To Servello

The bushes needs the hedges.



**Item 46 - Five Oaks Dr East**

Assigned To Servello

The bushes needs to be trimmed up.



**Item 47 - Five Oaks Dr / East**

Assigned To Servello

Sod on the way to be burned.



**Item 48 - Middlebrook Pl.**

Assigned To Servello

The bushes needs the hedges.

# COPY

## Tree Consultation Summary

Prepared by: Jessica Sullivan, Educational Arborist, ISA Certified Arborist # FL-1324A  
[sullivan@ufl.edu](mailto:sullivan@ufl.edu) 321-697-3040

Address: \_Harmony

Location of tree on property: various

Species: various

Consultation requested by: Vincent, landscape manager

Date: January 10, 2023

This tree consultation was given for the purpose of providing information about protecting and maintaining trees in urban areas. This tree consultation does not constitute a tree hazard assessment. Information offered about the specified tree(s) is based on outward observations made from the ground without the use of drilling tools. Some tree problems may not be outwardly visible from the ground, and therefore, may not be reported.

Select individual trees in various areas were inspected for health and condition and removal was recommended for several trees. Recommendations for individual trees were communicated to the landscape manager and are not included in this summary. The following is a summary of overall observations of trees throughout the community and recommendations for ongoing care of the trees.

### Observations:

- **Sidewalks and trees**

Due to trees being planted only a few feet from sidewalks and streets, tree roots will continue to cause cracking and buckling of pavement. Cost for repairs will be ongoing and costs will continue going up due to increasing damage as trees grow and increasing materials and labor costs. If major tree roots are cut off at the edge of the sidewalk, this may cause instability of the tree in some cases because roots anchor the tree. Most tree roots are within the first 1-2 feet of the soil's surface. Storms may cause trees with cut roots to fall over. Options for preserving tree roots and correcting current sidewalk damage, and preventing future sidewalk damage may include the following:

- Buckled sidewalks can continue to be "shaved" down.
- Sidewalks can be raised over roots by having material inserted below the sidewalk panels:  
<https://hort.ifas.ufl.edu/woody/slabjacking.shtml>





- Sidewalks can have “bridges” installed with rubber paving or metal, replacing cracked/lifted sidewalk panels.



Shown: Flexi-pave rubber sidewalk (all colors available)

- **Tree replacement**

Some trees in medians between sidewalks and streets were recommended for removal due to their very poor or hazardous condition.

- In areas where the medians are very narrow (less than ten feet), replacement with large shade trees is not recommended. Using smaller trees, or moving trees further back from streets (when the landscape space allows) would be a better option.
- In some cases, trees were planted too close together already, and it is not recommended to replace the tree at all, but rather give remaining trees more space to grow.

- **Town Square park area trees**

Many trees in the town square park area are showing signs of significant stress and decline. Some were recommended for removal due to their progressed state of dieback. An estimated 30% of the trees in the square should be removed within the next three years. Due to space limitations or poor species survival, trees in some locations in the park should not be replaced with the same species or in the exact same locations.

- Appropriate species of replacement trees should be specified and budgeted for in the near future to replace the declining trees when they need to be removed (most of the elms and some laurel oaks).



- **Tree damage and pruning**

Some trees throughout the community had been overpruned at some point, with improper pruning cuts that cannot close over, “lion’s tailing” and over-lifting of tree canopies apparent in some trees. These pruning techniques are not currently recommended in the arboriculture industry, and cause tree stress, decay, weakening, and hazards. Many of the street trees in the public right of ways had been damaged by mowers. If trunk injury goes into the tree, it may be a future site of decay.

- Landscape contracts should specify that no damage to trees from mowers or weed trimmers will be acceptable.
- Keep a mulched area around tree/palm bases, but one foot away from trunks. Mulch should never be applied, or allowed to accumulate to more than three inches over the root zone.
- Tree pruning should be performed by International Society of Arboriculture Certified Arborists that have knowledge of tree care practices that preserve the aesthetic appeal, longevity and safety of trees. For a list of Certified Arborists, see [www.isa-arbor.com](http://www.isa-arbor.com) . If a tree is the subject of any legal/insurance issues, a consulting arborist may be hired. For a list of consulting arborists in your area, see [www.asca-consultants.org](http://www.asca-consultants.org)
- Having appropriate tree care specifications for tree care contracts does not leave tree care open to interpretation. Appropriate specifications can prevent tree damage, tree hazards, and liability. (see examples below)



- **Tree care specifications** (can be used to educate yourself about tree care, and can be used in landscape care contracts)
  - Detailed specifications and diagrams for tree planting: <https://hort.ifas.ufl.edu/woody/details-specs.shtml>
  - and
  - <https://www.isa-arbor.com/education/onlineresources/cadplanningspecifications>
  - Simple specification for tree selection and planting: [https://ufei.calpoly.edu/wp-content/uploads/2021/02/Tree\\_Specifications12\\_13.pdf](https://ufei.calpoly.edu/wp-content/uploads/2021/02/Tree_Specifications12_13.pdf)
  - Pruning: <https://hort.ifas.ufl.edu/woody/documents/FDOT%20-%20Appendix%20A%20-%20Drafting%20Pruning%20Specifications.docx>
  - Simple pruning specifications for young trees: <https://www.floridaisa.org/smallspecs>
  - Simple pruning specifications for medium/mature trees: <https://www.floridaisa.org/mature>

# **Subsection 5Bi**

## **Tree Proposals**

# **Subsection 5Bia**

**BrightView  
#497490**



**BrightView Tree Care Services**  
Branch Office #49360  
4777 Old Winter Garden Road  
Orlando, Florida 32789  
Doug OBrien  
doug.obrien@brightview.com  
tel:321-287-0988

**Tree Care Service Address/Location**  
Harmony  
7300 7348 Five Oaks Dr  
Harmony, 34773  
Doug OBrien  
doug.obrien@Brightview.com  
tel:321-287-0988

Proposed Tree Care Services

Species	Qty	Objective	Price
■ Southern Live Oak <i>Quercus virginiana</i>	67	Elevation / Shape / Structure Prune	\$6,030
<b>Total</b>			<b>\$6,030</b>

Harmony



Legend (67)

■ Southern Live Oa... (67)



1. **Bid Specifications:** The Contractor shall recognize and perform in accordance with only written terms, specifications, and drawings contained or referred to herein. All materials shall conform to bid specifications. Work is being done in accordance with ANSI A300 standards.
2. **Bid Expiration:** This proposal will remain in effect for thirty (30) days from the date it was first presented to Client/Owner, unless accepted or rejected by Client/Owner, or withdrawn by Contractor prior to that time.
3. **Work Force:** Contractor shall designate a qualified representative with experience in tree management. The work force shall be presentable at all times. All employees shall be competent and qualified and shall be legally authorized to work in the U.S.
4. **Tree & Stump Removal:** Trees removed will be cut as close to the ground as possible based on conditions near to or next to the bottom of the tree trunk. Additional charges will be levied for unseen hazards such as, but not limited to concrete or brick filled trunks, metal rods, etc. If requested, mechanical grinding of visible tree stump will be done to a defined width and depth below ground level at an additional charge to the Client/Owner. Defined backfill and landscape material may be specified. Client/Owner shall be responsible for contacting Underground Service Alert to locate underground utility lines prior to start of work. BrightView Tree Care Services is not responsible for damage done to underground utilities such as, but not limited to, cables, wires, pipes, and irrigation parts. BrightView Tree Care Services will repair damaged irrigation lines at the Client/Owner's expense.
5. **Scheduling of Work:** If the jobsite conditions materially change from the time of approval of this proposal to the time the work starts, such that the job costs are adversely changed, this proposal is null and void. Scheduling of work is dependent on weather conditions and workloads. Our office will call the day prior to the work being done, unless other arrangements are made.
6. **Work Hours:** Any work, including emergency work, overtime and weekend work performed outside of the normal working hours (Monday-Friday between 6:30 a.m. and 2:30 p.m.) shall be billed at overtime rates. Use of power equipment will commence at 7:00 a.m., unless otherwise specified in the scope of work. Additional charges will be applied if crews cannot use power equipment by 9:00 a.m.
7. **License and Permits:** Contractor shall maintain a Landscape Contractor's license if required by State or local law and will comply with all other license and permit requirements of relevant city, state and federal governments, as well as all other requirements of law.
8. **Taxes:** Contractor agrees to pay all applicable taxes, including sales taxes on material supplied, where applicable.
9. **Insurance:** Contractor agrees to provide General Liability Insurance, Automotive Liability Insurance, Worker's Compensation Insurance, and any other insurance required by law or Client/Owner, as specified in writing prior to commencement of work. If not specified, Contractor will furnish insurance with a \$1,000,000 limit of liability.
10. **Liability:** Contractor shall indemnify the Client/Owner and its agents and employees from and against any liabilities that arise out of Contractor's work to the extent such liabilities are adjudicated to have been caused by Contractor's negligence or willful misconduct. Contractor shall not be liable for any damage that occurs from acts of God. Acts of God are defined as those caused by windstorm, hail, fire, flood, earthquake, hurricane and freezing, etc. Under these circumstances, Contractor shall have the right to renegotiate the terms and prices of this agreement within sixty (60) days. Any illegal trespass, claims and/or damages resulting from work requested that is not on property owned by Client/Owner or not under Client/Owner.
11. **Waiver of Liability:** Requests for crown thinning in excess of twenty-five percent (25%), or work not in accordance with ISA (International Society of Arboricultural) standards will require a signed waiver of liability.
12. **Non-Union Contractor:** Client/Owner acknowledges that Contractor is not a signatory to any union agreements. If any services hereunder would be covered by any labor union that Client/Owner is bound to or that may have a claim to such work, then this written proposal shall be immediately terminated and become void, with no further liability to Contractor.
13. **Subcontractors:** Contractor reserves the right to hire qualified subcontractors to perform specialized functions or work requiring specialized equipment.
14. **Additional Services:** Any additional work, changes in the scope of work, or additional contract terms introduced by Client/Owner that are not specified in the signed written proposal shall constitute a counter offer and will require a new written proposal or an executed written order to address such changes. Any additional costs related thereto shall be charged by Contractor as an extra charge over and above the estimate.
15. **Access to Job Site:** Client/Owner shall provide all utilities to perform the work. Client/Owner shall furnish access to all parts of the job site where Contractor is to perform work as required by the Contract or other functions related thereto, during normal business hours and other reasonable periods related thereto, during normal business hours and other reasonable periods of time. Contractor will perform the work as reasonably practical after the owner makes the site available for performance of the work.
14. **Invoicing:** Client/Owner shall make payment to Contractor within fifteen (15) days of receipt of invoice.
15. **Cancellation:** Notice of cancellation of work must be received in writing before the crew is dispatched to their location or Client/Owner will be liable for a minimum travel charge of \$150.00 and billed to Client/Owner.
16. **Assignment:** The Client/Owner and the Contractor, respectively, bind themselves, their partners, successors, assignees and legal representatives to the other party with respect to all covenants of this Contract. In the event of sale or transfer of Client/Owner's interest in its business and/or the property which is the subject of this agreement, Client/Owner must first obtain the written consent of Contractor for the assignment of any interest in this agreement to be effective.
17. **Disclaimer:** This proposal for tree care services was estimated and priced based upon a site visit and visual inspection from ground level using ordinary means, at or about the time this proposal was prepared. The price quoted in this proposal is intended to reduce the result of that ground level visual inspection and therefore our company will not be liable for any additional costs or damages for additional work not described herein, or liable for any incidents/accidents resulting from conditions, that were not ascertainable by said ground level visual inspection by ordinary means at the time said inspection was performed. The work performed by BrightView Tree Care Services is intended to reduce the chances of tree failure and any corresponding property liabilities, in addition to enhancing aesthetic value but is not a guarantee. We cannot be held responsible for unknown or otherwise hidden defects of your trees, which may fail in the future. The corrective work proposed herein cannot guarantee exact results. Professional engineering, architectural, and/or landscape design services ("Design Services") are not included in this Agreement and shall not be provided by the Contractor. Any design defects in the Contract Documents are the sole responsibility of the Owner. If the Client/Owner must engage a licensed engineer, architect and/or landscape design professional, any costs concerning these Design Services are to be paid by the Client/Owner directly to the designer involved.

## Acceptance of this Proposal

Contractor is authorized to perform the work stated on the face of this proposal. Payment will be 100% due at time of billing. If payment has not been received by BrightView Tree Care Services within fifteen (15) days after billing, BrightView Tree Care Services shall be entitled to all costs of collection, including reasonable attorneys' fees and it shall be relieved of any obligation to continue performance under this or any other Contract with Client/Owner. Interest at a per annum rate of 1% per month, or the highest rate permitted by law, will be charged on unpaid balance 45 days after billing.

**NOTICE:** FAILURE TO MAKE PAYMENT WHEN DUE FOR COMPLETED WORK ON CONSTRUCTION JOBS, MAY RESULT IN A MECHANIC'S LIEN ON THE TITLE TO YOUR PROPERTY.

## Customer

Signature	
Doug OBrien	January 10, 2023
Printed Name	Date

## BrightView Tree Care Services

<i>Doug OBrien</i>	January 10, 2023
Signature	Date
Doug OBrien	January 10, 2023
Printed Name	Date



# **Subsection 5Bib**

**BrightView  
#501149**

**BrightView Tree Care Services**

Branch Office #49360  
4777 Old Winter Garden Road  
Orlando, Florida 32789  
Doug OBrien  
doug.obrien@brightview.com  
tel:321-287-0988

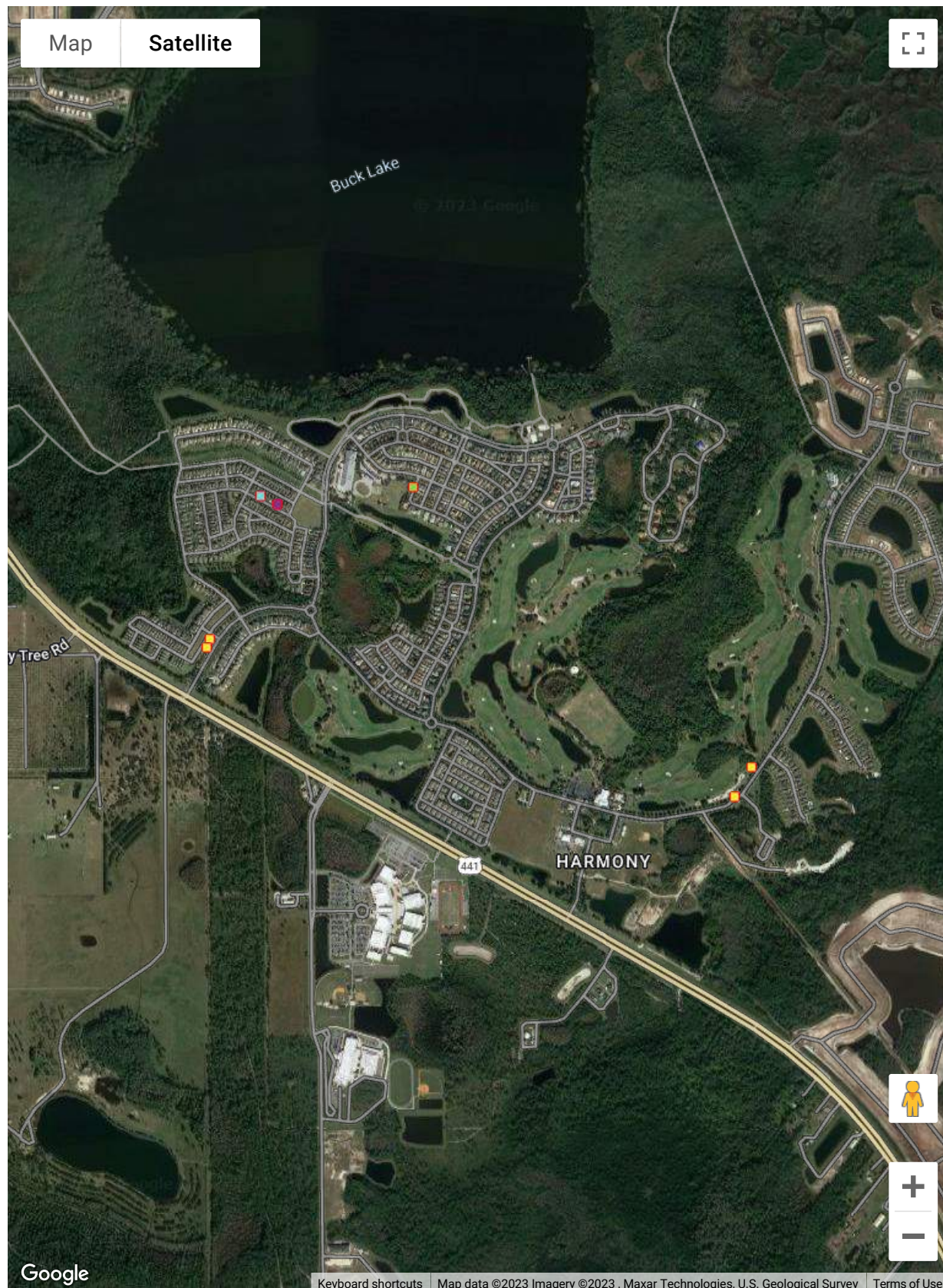
**Tree Care Service Address/Location**

harmony removals  
6838 Sundrop St  
Harmony, FL 34773

**Proposed Tree Care Services**

	<b>Species</b>	<b>DBH</b>	<b>Qty</b>	<b>Objective</b>	<b>Price</b>
■	American Sycamore <i>Platanus occidentalis</i>	19"-24"	1	Removal and Stump Grind	\$950
■	Florida Maple <i>Acer floridanum</i>	7"-12"	1	Removal and Stump Grind	\$350
■	Laurel Oak <i>Quercus laurifolia</i>	7"-12"	1	Removal and Stump Grind	\$600
■	Southern Live Oak <i>Quercus virginiana</i>	19"-24"	4	Removal and Stump Grind	\$3,950
	<b>Total</b>				<b>\$5,850</b>

harmony removals



harmony removals

Proposal #501149 01-17-2023



January 12, 2023

Quercus laurifolia ID# 1  
Laurel Oak  
Height: 16'-30' DBH: 7"-12"  
Health: 40% - Poor



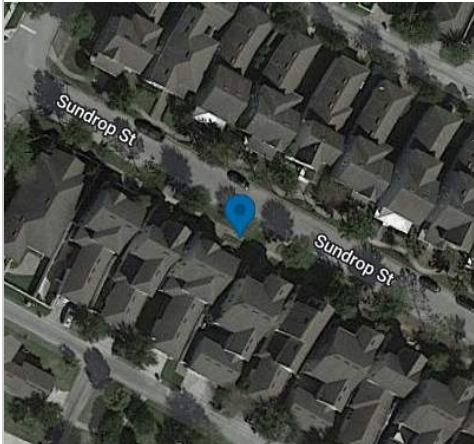
January 12, 2023

Quercus laurifolia ID# 1  
Laurel Oak  
Height: 16'-30' DBH: 7"-12"  
Health: 40% - Poor



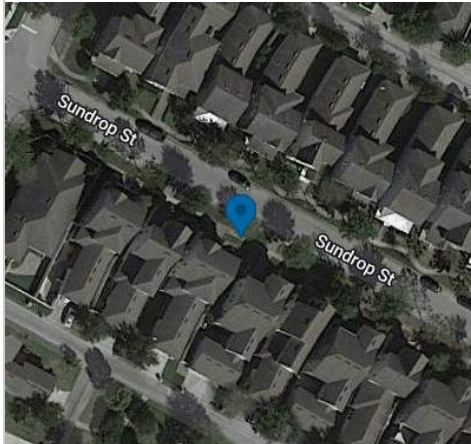
January 12, 2023

Quercus laurifolia ID# 1  
Laurel Oak  
Height: 16'-30' DBH: 7"-12"  
Health: 40% - Poor



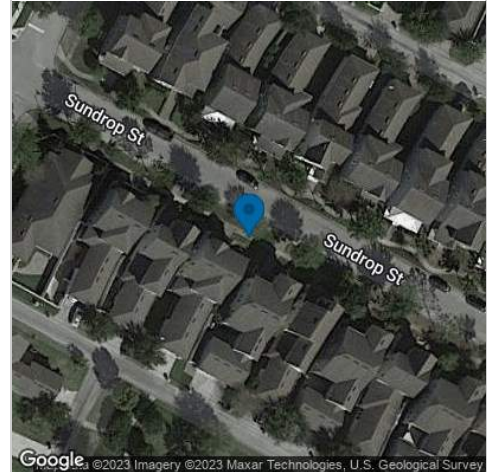
Google ©2023 Imagery ©2023 Maxar Technologies, U.S. Geological Survey

Front  
Removal and Stump Grind  
Oak removal at 6838 sundrop



Google ©2023 Imagery ©2023 Maxar Technologies, U.S. Geological Survey

Front  
Removal and Stump Grind  
Oak removal at 6838 sundrop



Google ©2023 Imagery ©2023 Maxar Technologies, U.S. Geological Survey

Front  
Removal and Stump Grind  
Oak removal at 6838 sundrop

harmony removals

Proposal #501149 01-17-2023



January 12, 2023

*Quercus laurifolia* ID# 1  
Laurel Oak  
Height: 16'-30' DBH: 7"-12"  
Health: 40% - Poor

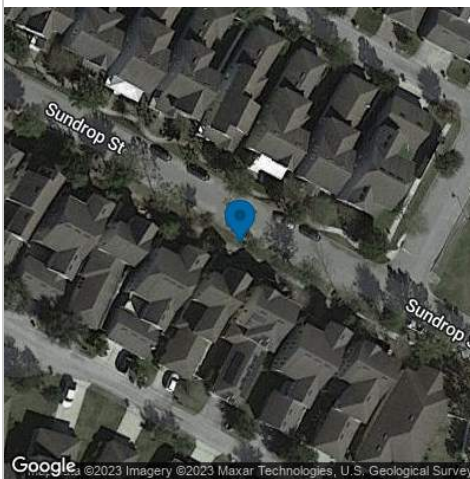


Google  
Front  
Removal and Stump Grind  
Oak removal at 6838 sundrop



January 12, 2023

*Acer floridanum* ID# 2  
Florida Maple  
Height: 1'-15' DBH: 7"-12"  
Health: 60% - Fair

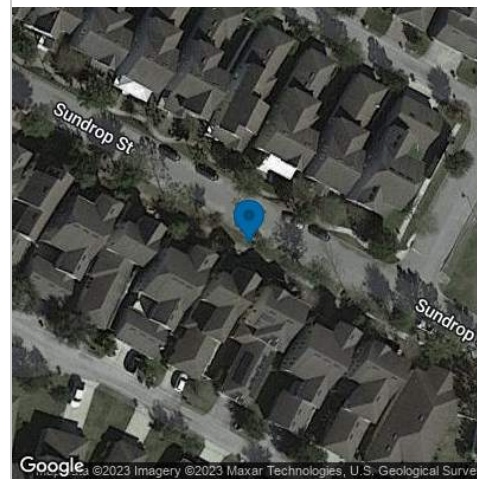


Google  
Front  
Removal and Stump Grind  
Maple in front of 6850 Sundrop



January 12, 2023

*Acer floridanum* ID# 2  
Florida Maple  
Height: 1'-15' DBH: 7"-12"  
Health: 60% - Fair



Google  
Front  
Removal and Stump Grind  
Maple in front of 6850 Sundrop

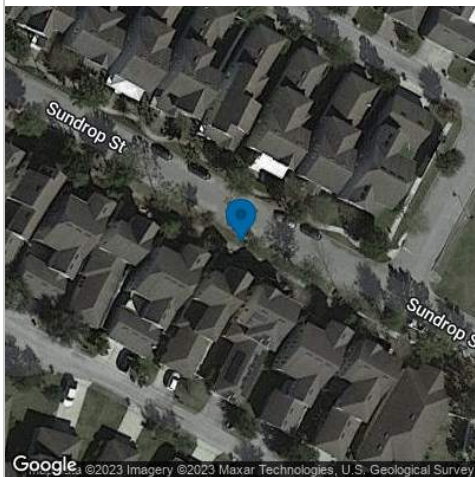
harmony removals

Proposal #501149 01-17-2023



January 12, 2023

*Acer floridanum* ID# 2  
Florida Maple  
Height: 1'-15' DBH: 7"-12"  
Health: 60% - Fair

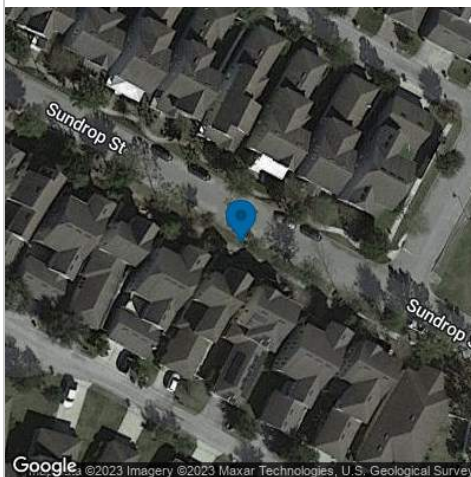


Front  
Removal and Stump Grind  
Maple in front of 6850 Sundrop



January 12, 2023

*Acer floridanum* ID# 2  
Florida Maple  
Height: 1'-15' DBH: 7"-12"  
Health: 60% - Fair

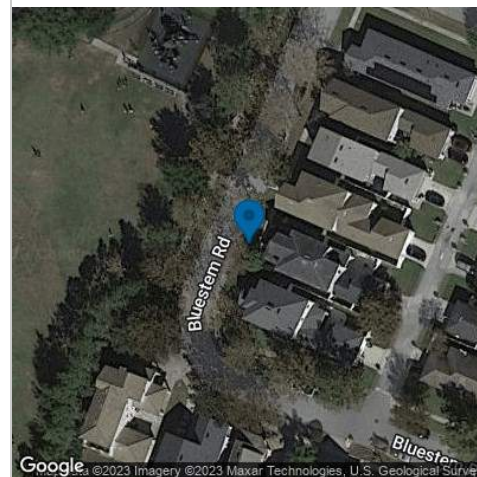


Front  
Removal and Stump Grind  
Maple in front of 6850 Sundrop



January 12, 2023

*Platanus occidentalis* ID# 3  
American Sycamore  
Height: 31'-45' DBH: 19"-24"  
Health: 40% - Poor



Front  
Removal and Stump Grind  
Sycamore removal at 6979 Bluestem Rd  
Recommend bucket truck Watch street light

harmony removals

Proposal #501149 01-17-2023



January 12, 2023

*Platanus occidentalis* ID# 3  
American Sycamore  
Height: 31'-45' DBH: 19"-24"  
Health: 40% - Poor



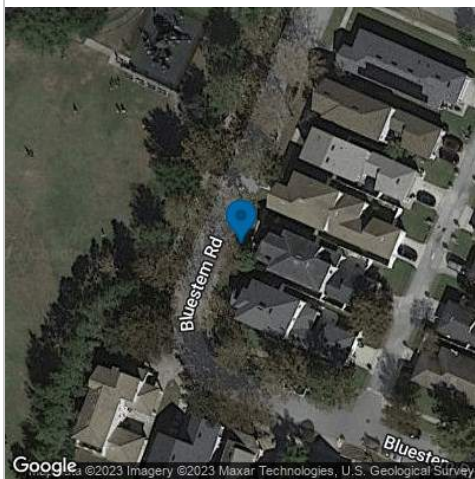
January 12, 2023

*Platanus occidentalis* ID# 3  
American Sycamore  
Height: 31'-45' DBH: 19"-24"  
Health: 40% - Poor



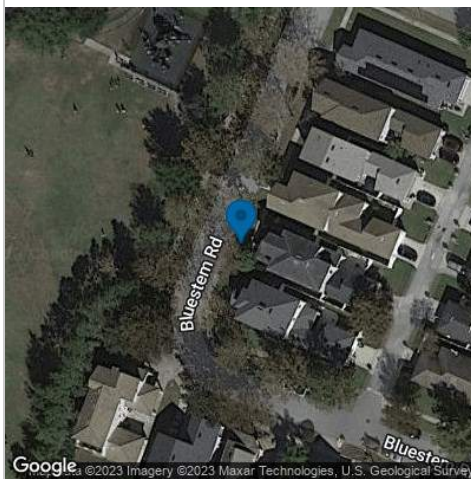
January 12, 2023

*Quercus virginiana* ID# 4  
Southern Live Oak  
Height: 16'-30' DBH: 19"-24"  
Health: 40% - Poor



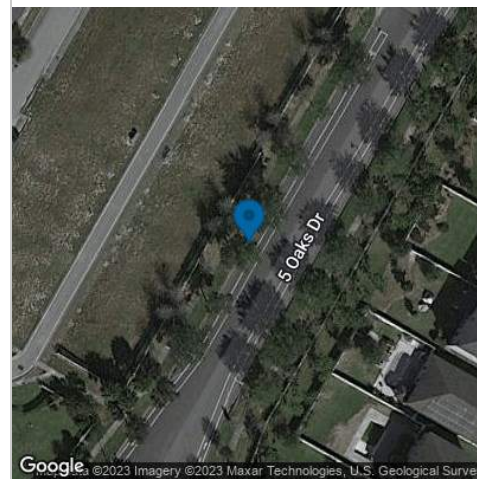
Front  
Removal and Stump Grind

Sycamore removal at 6979 Bluestem Rd  
Recommend bucket truck Watch street light



Front  
Removal and Stump Grind

Sycamore removal at 6979 Bluestem Rd  
Recommend bucket truck Watch street light



Street Tree  
Removal and Stump Grind

When you come in the west entrance on the left side

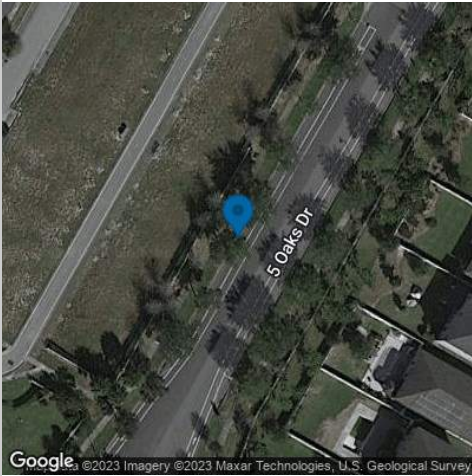
harmony removals

Proposal #501149 01-17-2023



January 12, 2023

*Quercus virginiana* ID# 4  
Southern Live Oak  
Height: 16'-30' DBH: 19"-24"  
Health: 40% - Poor



Google ©2023 Imagery ©2023 Maxar Technologies, U.S. Geological Survey

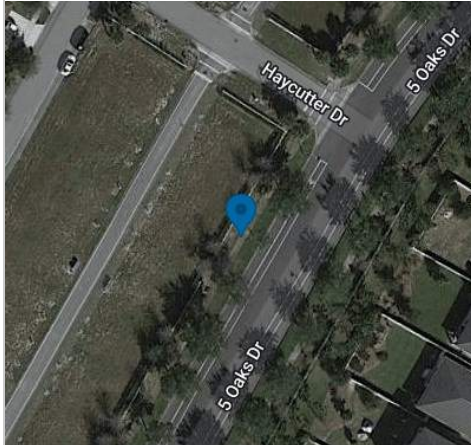
Street Tree  
Removal and Stump Grind

When you come in the west entrance on the left side



January 12, 2023

*Quercus virginiana* ID# 5  
Southern Live Oak  
Height: 16'-30' DBH: 19"-24"  
Health: 40% - Poor



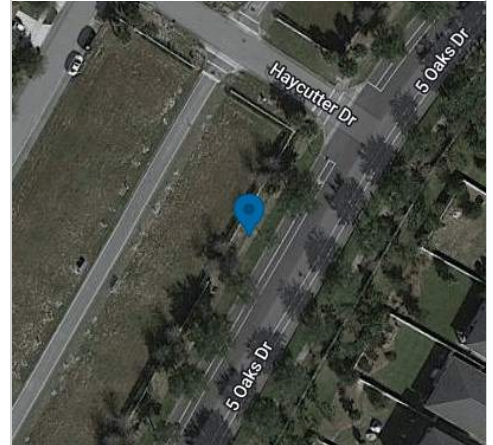
Google ©2023 Imagery ©2023 Maxar Technologies, U.S. Geological Survey

Removal and Stump Grind



January 12, 2023

*Quercus virginiana* ID# 5  
Southern Live Oak  
Height: 16'-30' DBH: 19"-24"  
Health: 40% - Poor



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Removal and Stump Grind



harmony removals

Proposal #501149 01-17-2023



January 12, 2023

*Quercus virginiana* ID# 5  
Southern Live Oak  
Height: 16'-30' DBH: 19"-24"  
Health: 40% - Poor



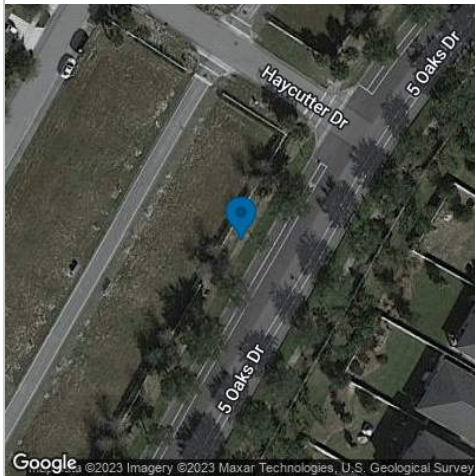
January 17, 2023

*Quercus virginiana* ID# 6  
Southern Live Oak  
Height: 16'-30' DBH: 19"-24"  
Health: 40% - Poor

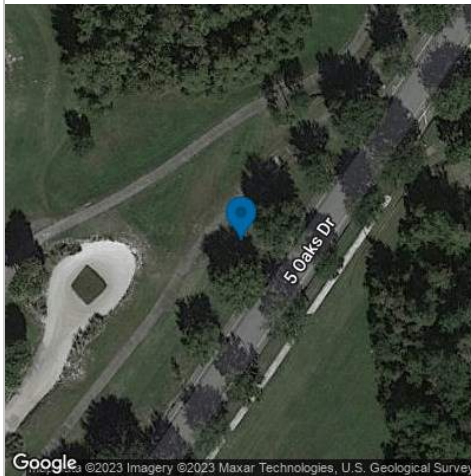


January 17, 2023

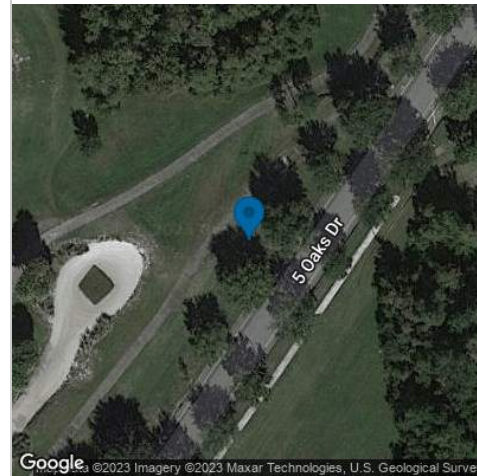
*Quercus virginiana* ID# 6  
Southern Live Oak  
Height: 16'-30' DBH: 19"-24"  
Health: 40% - Poor



Removal and Stump Grind



Removal and Stump Grind



Removal and Stump Grind

harmony removals

Proposal #501149 01-17-2023



January 17, 2023

*Quercus virginiana* ID# 7  
Southern Live Oak  
Height: 16'-30' DBH: 19"-24"  
Health: 40% - Poor



January 17, 2023

*Quercus virginiana* ID# 7  
Southern Live Oak  
Height: 16'-30' DBH: 19"-24"  
Health: 40% - Poor



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Removal and Stump Grind  
By dog park



Google ©2023 Imagery ©2023 Maxar Technologies, U.S. Geological Survey

Removal and Stump Grind  
By dog park

# **Subsection 5Bic**

**BrightView  
#8017941**

COPY



### Proposal for Extra Work at Remove trees /Replace trees

Property Name	Remove trees /Replace trees	Contact	Brett Perez
Property Address	313 Campus st Celebration, FL 34747	To Billing Address	Inframark 313 Campus Celebration, FL 34747

Project Name Remove trees /Replace trees  
 Project Description See arbor Note # 501149 for locations

#### Scope of Work

QTY	UoM/Size	Material/Description	Unit Price	Total
1.00	EACH	Removals see arbor note # 501149 All stump ground	\$5,850.01	\$5,850.01
5.00	EACH	3 inch caliper live oaks installed and staked HOA responsible for irrigation connection	\$572.92	\$2,864.58
1.00	EACH	3 inch caliper American Sycamore installed and staked HOA responsible for irrigation connection	\$572.92	\$572.92
1.00	EACH	3 inch caliper Red Maple installed and staked HOA responsible for irrigation connection	\$572.92	\$572.92

For internal use only

SO# 8017941  
 JOB# 345200000  
 Service Line 300

**Total Price** \$9,860.43

**THIS IS NOT AN INVOICE**

This proposal is valid for thirty (30) days unless otherwise approved by Contractor's Senior Vice President  
103 West 7th Street, Orlando, FL 32824 ph. (407) 290-6542 fax (407) 291-4966

# **Subsection 5Bid**

**Benchmark  
#230118-02**



# **Subsection 5Bii**

# **Symbiont Proposals**

**COPY**

Symbiont Service Corp.  
4372 North Access Road  
Englewood, FL 34224

Phone: (941) 474-9306  
Fax: (941) 473-9306  
<https://symbiontservice.com/>



Quote Date: 11/3/2022

Quote Expiration Date: 1/29/2023

Bill to  
**Harmony CDD**  
Harmony Swim Club  
210 N. University Drive  
Coral Springs, FL 33071

Ship to  
**Harmony Swim Club**  
7255 Five Oaks Drive  
Harmony, FL 34773

**Quote #: q7681**

Item	Description	Quantity	Price	Amount
INFO	Unit #1  M# PH215BRDSWTJ S# 1146696-D13  Replace both pool side condenser coils that are leaking water, sight glass and drier Includes 2 - G3 condensers, drier, sight glass, torch, vacuum, freon reclaim/return and labor  Warranty: One year parts and labor on the above repair	1	\$0.00	\$0.00
WARR-PL	Warranty: One year parts and labor on the above repair	1	\$0.00	\$0.00
TRIP CHARGE	Shipping and Handling	1	\$25.00	\$25.00
Consumables	Misc. Shop Supplies	1	\$19.95	\$19.95
RCCR0280100	Recover, Evac, Return Refrig; 10 Ton System	1	\$271.37	\$271.37
RCAC1120000	Charge System With Puron R410A	1	\$96.00	\$96.00
PHR00700240	Add or Replace Ti Evap or Cond Coil (Symbiont Model 90,115,215 &250)	1	\$1,769.58	\$1,769.58
STK0121	85' Titanium Coil	1	\$831.24	\$831.24
MSCNLR70060	Non-Listed Labor Only Repair (No Parts, Please Specify).	1	\$150.00	\$150.00
RCCSG110030	Replace/ Moisture-Liquid Line Sight Glass 7/8' ODF Sweat (Nrr*) PH215	1	\$261.41	\$261.41

Subtotal: \$3,424.55

Tax: \$0.00



**COPY**



Symbiont Service Corp.  
4372 North Access Road  
Englewood, FL 34224

Phone: (941) 474-9306  
Fax: (941) 473-9306  
<https://symbiontservice.com/>

Bill to  
**Harmony CDD**  
Harmony Swim Club  
210 N. University Drive  
Coral Springs, FL 33071

Ship to  
**Harmony Swim Club**  
7255 Five Oaks Drive  
Harmony, FL 34773

**Invoice #: SA 2784-Q**

Invoice Due Date: 12/15/2022

Item	Description	Quantity	Price	Amount
PM-Quote-1	<p>SA-Payment of this invoice will activate your planned maintenance agreement for one (1) visit per year.</p> <p>The contract is valid for the term of 1 year with discounts on parts and labor throughout that year.</p> <p>*Additional Service Call's not included during the term of this year if unrelated to maintenance contract.</p> <p>*Filter's are not included in contract pricing.</p> <p>*Agreement is activated upon payment received and automatically renewed by payment of invoice each year.</p>	1	\$0.00	\$0.00
000037	PM1 WS PH - PH215/PH250 Agreement - 1st Unit	1	\$220.00	\$220.00
000038	PM1 WS PH - PH215/PH250 Agreement - Additional Units	1	\$190.00	\$190.00

Subtotal: \$410.00

Tax: \$0.00

Total: \$410.00

Payments: \$0.00

Balance Due: \$410.00

# COPY Symbiont Service Corp

Pool Heating • Air Conditioning  
GeoThermal Comfort Solutions



*“One Company, One Call, Complete Comfort!”*

## **WATER SOURCE POOL HEATER PLANNED MAINTENANCE 28-POINT CHECK LIST**

- ✓ Check and clean evaporator coils and plate heat exchangers, as needed.
- ✓ Leak test all coils and connections for Freon leaks.
- ✓ Check capacitors for hazardous leaks.
- ✓ Monitor Freon site glass.
- ✓ Inspect for interior cabinet contamination and mold growth.
- ✓ Check crank case heater.
- ✓ Check safety controls.
- ✓ Check supply well vacuum.
- ✓ Check discharge well pressure.
- ✓ Check pool flow.
- ✓ Check all pumps and auxiliary equipment.
- ✓ Check reversing valve for proper operation.
- ✓ Note all corrosion spots and apply protective film, on equipment as needed.
- ✓ Inspect, clean and spray controls and switches.
- ✓ Check thermostat calibration.
- ✓ Check all electrical components for proper operation.
- ✓ Check all wire connections and replace, as needed.
- ✓ Check all relays for trouble-free operation.
- ✓ Inspect and clean contactor points.
- ✓ Test compressor's running amperage.
- ✓ Document motor amperages to compare to future visits.
- ✓ Check refrigerant flow control device.
- ✓ Test and monitor refrigerant pressures.
- ✓ Check operating temperatures and temperature drop and rise across coils.
- ✓ System efficiency evaluation.
- ✓ Provide a detailed report upon completion of a maintenance visit.
- ✓ Provide preferential emergency service to **Agreement Holders**.

Preferred customer **discounts on all parts & labor**, not covered under manufacturer's warranty.

# **Subsection 5CC**

# **District Engineer's Report**

# **Subsection 5Cii**

## **Report on Cattails in Ponds**

### Cattails Research

On 1/10/22, Pegasus staff spoke with David Eunice (SJRWMD). He stated that SJRWMD considers cattails as a nuisance / invasive plant species. They don't offer any guidance on removal. They allow for both physical plant removal and spray treatment (herbicide). They ask for a maintenance plan to be submitted for approval that includes removal details.

On 1/10/22, Pegasus staff spoke with Catherine Bowman (Bowman and Blair Ecology and Design, Inc). Ms. Bowman stated that cattails are a native plant species that provides good wildlife habitat and water quality benefits. She stated that the spread of cattails can be a concern, particularly in shallow water bodies. She also stated that it is best to have a diversity of native plant species around the perimeter of the pond / shoreline. She recommended Bill Snively (Aquatic Weed Management, 863-412-1919) as a reputable company for pond plant management and good source of information. Ms. Bowman also recommended potentially contacting Steffan Pierre (SFWMD, [spierre@sfwmd.gov](mailto:spierre@sfwmd.gov) or 407-858-6100 x 3838) concerning pond maintenance information.

On 1/12/22, Pegasus staff spoke with Keith Brown (SFWMD, St. Cloud Office, 321-246-0900 (cell)). He stated that SFWMD follows the University of Florida Institute of Food and Agricultural Sciences (UF/IFAS) and Florida Fish and Wildlife Commission (FWC) guidance with regards to invasive / native plant species and guidance. The cattail is a native plant species. In general, the district is in favor of the plants unless they begin to take over the whole water body. Then, they recommend taking out sections of the cattails only. Mr. Brown recommended contacting the UF/IFAS for additional information. Mr. Brown also stated that a good contact person at FWC regarding invasive plant management is Ed Harris.

On 1/14/22, Pegasus staff spoke with Lisa Prather (SFWMD, Section Leader 407-858-6100 x 3818). She stated that the district is ok with Harmony removing or spraying cattails in their stormwater ponds and this would be considered performing maintenance. Further, she stated that no paperwork submittals are required to the district as it is considered routine maintenance. They do not make recommendations on spray versus physical removal but they accept both methods of cattail treatment.

UF/IFAS Osceola County – Central 321-697-3044

On 1/14/22, Pegasus staff received an email from Hannah Wooten (UF / IFAS Extension Agent, Commercial Horticulture). In summary, she stated that cattails are native and do provide plenty of benefits, but the concern of cattail spread is a valid one. She has asked Dr. Stephen Enloe and Dr. Lyn Gettys to provide further information. She also provide a list of Aquatic Pesticide Applicators in Osceola County. Refer to the email attachment for the email correspondence with the UF / IFAS including Hannah Wooten, Dr. Stephen Enloe, and Dr. Lyn Gettys.

# **Subsection 5Ciii**

## **Billy's Trail**

01/11/2023

Memo to Harmony CDD regarding Billy's Trail

Goal: Establish access to Billy's trail via Harmony Main CDD property by 03/31/2023

- Why: Improved quality of life and increased community value by providing residents with safe trail access for recreation
- How: Active participation from all stakeholders (Residents, CDD, HANC, etc.)

Background:

- Original access to the trail was abandoned due to development of the Enclave community.
- Harmony CDD owns a strip of property that runs from Five Oaks Drive around the North-Western perimeter of The Enclave and terminates at Billy's trail. This means Harmony CDD can establish trail access solely via Harmony CDD property!
- The 11/02/21 survey identifies two locations along this strip of property where 15 inch culverts are to be installed to overcome obstacles, one at the wetland outflow ditch and one at the ditch adjacent to the trail head.
- These two obstacles must be overcome to allow for safe resident access and for maintenance, such as periodic mowing.

Reference:

- Survey dated 11/02/2021 by Pegasus Engineering titled "Billy's Trail Enclave at Lakes of Harmony, Harmony Community Development District". This survey is included in the 12/15/2022 CDD agenda on page 268.

Questions:

- Why are we waiting on the Enclave developer if we can establish access to the trail via Harmony CDD property?
- What is needed to move forward in a timely manner to have the two culverts identified on the survey installed?
  - Who is responsible to lead this effort?
  - Is there funding available to complete this effort?
  - Are there any regulatory approvals needed to get started?

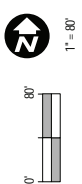
Recommendations:

- Add discussion on this topic to the agenda to the January CDD meeting
- Bring answers to above questions and any relevant information to January CDD meeting
- Complete installation of the two culverts and associated trail elevation, "dirt work" during this winter dry season

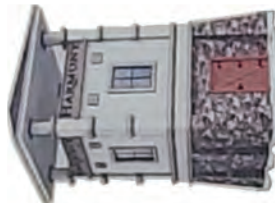
Comments:

- I'm a member of the HANC and willing to spend time to achieve this goal.
- I welcome recommendations/guidance on how I can help move this forward.

COPY



# BILLY'S TRAIL ENCLAVE AT LAKES OF HARMONY HARMONY COMMUNITY DEVELOPMENT DISTRICT OSCEOLA COUNTY, FLORIDA

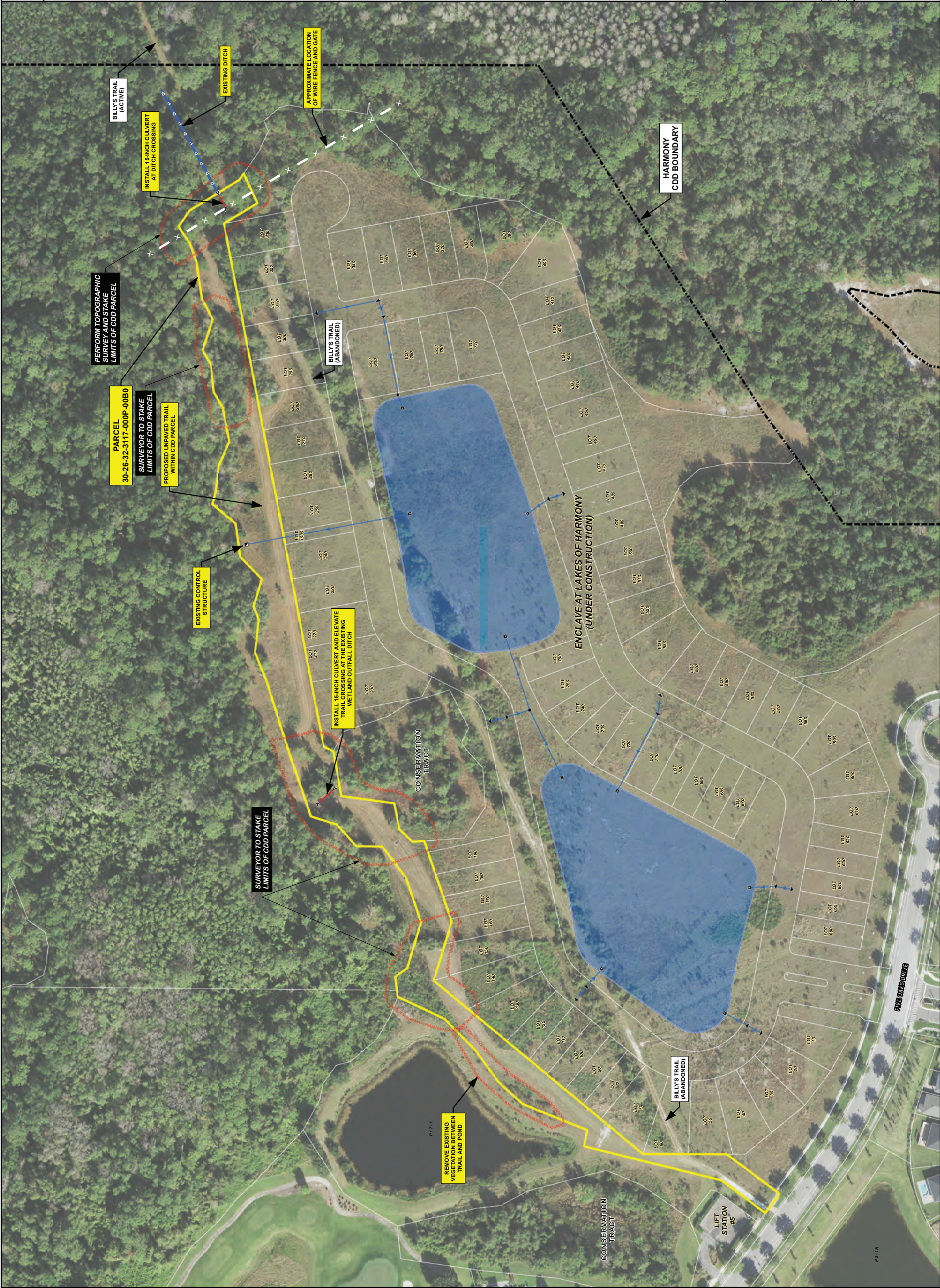


**Pegasus**  
Pegasus Engineering, LLC  
301 West SR 734, Suite 309  
Winter Springs, Florida 32708  
Office: 407.992.8140  
Fax: 407.988.5155

State of Florida Board of Professional Engineers  
Certificate of Authorization No. 21770  
JOB NO.: MSC-2015  
DRAWN BY: DCG  
APPROVED BY: DMH  
DATE: 11/2/201

EXHIBIT

1





# **Subsection 5E**

# **District Manager's Report**

## **District Manager Report**

- **APS contract was fully executed by both parties on 1/12/2023**
- **Green Leaf/Benchmark contract was fully executed on 12/22/2022 and will commence on February 1<sup>st</sup>, 2023**
- **Workshop has been scheduled for 2/07/2023 at 6PM**
  - **Agenda is being worked on**
- **We continue to monitor with Brett/Vincent regarding withholding monies from Servello for work not rendered**
  - **Brett/Vincent are documenting and working with Servello on recent damages that occurred due to the Servello team**
- **Royal Poinciana Tree map has been added to the December minutes**
- **Sean has reviewed multiple sites for the relocation of the field services building and storage units.**
  - **Sean will provide findings during the meeting**
- **Avid training for Jo Phillips has been requested**
  - **Training with Jo will be scheduled once available training days have been provided.**

# **Section 7**

# **Old Business**

# **Subsection 7B**

## **RV Lot Update**

**From:** Kerul Kassel <[Kerul@harmonyccd.org](mailto:Kerul@harmonyccd.org)>  
**Sent:** Tuesday, December 27, 2022 2:22 PM  
**To:** Montagna, Angel <[Angel.Montagna@inframark.com](mailto:Angel.Montagna@inframark.com)>  
**Cc:** FREDERICK MEEK <[mrfhm@aol.com](mailto:mrfhm@aol.com)>; David Hamstra <[david@pegasusengineering.net](mailto:david@pegasusengineering.net)>  
**Subject:** FW: Harmony RV/Boat/Vehicle storage lot questions

Hello Angel,

Please copy the email thread below and include it in the CDD agenda package for January. The answer from Ms. Templeton, the Zoning Manager for Osceola County, says below that the roadway to the RV/Boat Storage Area would need to be improved beyond the proposed amendment in 4.8, attached, even if the Field Services offices were moved, in order to be in compliance with county requirements.

I am copying Mr. Hamstra, for his information for discussion at the next meeting, and Mr. Frederick Meek, a resident who spoke at the last meeting asking the CDD board to do more research as to county requirements to any improvements that would be required for the existing facility without expansion.

Thank you,  
Kerul

Dr. Kerul Kassel, Supervisor, Seat 3  
Harmony, Florida  
[Kerul@HarmonyCDD.org](mailto:Kerul@HarmonyCDD.org)  
407-957-1494

**From:** Amy Templeton <[Amy.Templeton@osceola.org](mailto:Amy.Templeton@osceola.org)>  
**Date:** Tuesday, December 27, 2022 at 1:40 PM  
**To:** Kerul Kassel <[Kerul@harmonyccd.org](mailto:Kerul@harmonyccd.org)>  
**Cc:** Kellie Martin <[Kellie.Martin@osceola.org](mailto:Kellie.Martin@osceola.org)>, Jane Adams <[Jane.Adams@osceola.org](mailto:Jane.Adams@osceola.org)>  
**Subject:** RE: Harmony RV/Boat/Vehicle storage lot questions

Good Afternoon,

Yes, if the Field Services office is relocated, you will still need to improve the roadway in compliance with applicable codes, per the conditions of PD21-00008. The standards and requirements addressed in the Planned Development document apply to all uses within the Maintenance/Storage District. If a use is not acted on (or is removed), the standards and requirements still apply to the remaining uses. This includes the following as displayed in the Planned Development document:

- Storage of construction equipment and supplies. Vehicular storage will include the following:
  1. Landscape Maintenance Equipment including Tractors, trailers, mowers
  2. Construction Equipment on or off Trailers
  3. Commercial Trucks and/or Vans

4. Recreational Vehicles, Class A, B and C.
  5. Boats 18 Date Revised: 10 MAY 2021
  6. Utility Trailers
  7. Shipping Containers
  8. Small modular buildings shall also be permitted.
- Field Services/Maintenance Office (maximum 10,000 sf – maximum 25' height)

The approval letter for PD21-00008 did not approve the alternative surface that was proposed in the narrative of PD21-00008. Alternative surface will be evaluated at the SDP review and require compliance with applicable codes.

Respectfully,

Amy Templeton  
Zoning Manager  
Osceola County Community Development  
Board of County Commissioners  
1 Courthouse Square, Suite 1400  
Kissimmee, Florida 34741  
[Amy.Templeton@osceola.org](mailto:Amy.Templeton@osceola.org)  
407-742-0285 (Direct)  
407-742-0200 (Main)



**From:** Kerul Kassel <[Kerul@harmonyccd.org](mailto:Kerul@harmonyccd.org)>  
**Sent:** Tuesday, December 27, 2022 1:14 PM  
**To:** Amy Templeton <[Amy.Templeton@osceola.org](mailto:Amy.Templeton@osceola.org)>  
**Cc:** Kellie Martin <[Kellie.Martin@osceola.org](mailto:Kellie.Martin@osceola.org)>; Jane Adams <[Jane.Adams@osceola.org](mailto:Jane.Adams@osceola.org)>  
**Subject:** Re: Harmony RV/Boat/Vehicle storage lot questions

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Thank you for this information, Ms. Templeton.

I apologize, but I still have some confusion about several standards.

First, we are looking to move the Field Services office, and when this is accomplished there will no longer be any buildings except the small garden shed outside the community garden, and the small shed inside the community garden. Does this make a difference? I note the minimum standard for the roadway in the amendment document, but the approval letter states "The proposed alternative surface for the access road is not approved as part of this amendment." If the Field Services office is relocated, will we still need to improve the roadway?

Thank you,  
Kerul Kassel

Dr. Kerul Kassel, Supervisor, Seat 3  
Harmony, Florida  
[Kerul@HarmonyCDD.org](mailto:Kerul@HarmonyCDD.org)  
407-957-1494

**From:** Amy Templeton <[Amy.Templeton@osceola.org](mailto:Amy.Templeton@osceola.org)>  
**Date:** Tuesday, December 27, 2022 at 12:34 PM  
**To:** Jane Adams <[Jane.Adams@osceola.org](mailto:Jane.Adams@osceola.org)>, Kellie Martin <[Kellie.Martin@osceola.org](mailto:Kellie.Martin@osceola.org)>, Kerul Kassel <[Kerul@harmonyccd.org](mailto:Kerul@harmonyccd.org)>  
**Subject:** FW: Harmony RV/Boat/Vehicle storage lot questions

Good Morning,

Please note. The approval I referred to was not for expansion. It was for approval of the facility. The facility was originally placed without County approval and when the County was made aware of this, the development was required to amend the Planned Development to allow for the maintenance and storage site (including RV/Boat storage). The special conditions and maintenance and storage site standards as addressed in PD21-00008 apply to this site.

Respectfully,

Amy Templeton  
Zoning Manager  
Osceola County Community Development  
Board of County Commissioners  
1 Courthouse Square, Suite 1400  
Kissimmee, Florida 34741  
[Amy.Templeton@osceola.org](mailto:Amy.Templeton@osceola.org)  
407-742-0285 (Direct)  
407-742-0200 (Main)



**From:** Kerul Kassel <[Kerul@harmonyccd.org](mailto:Kerul@harmonyccd.org)>  
**Sent:** Tuesday, December 27, 2022 12:24 PM  
**To:** Jane Adams <[Jane.Adams@osceola.org](mailto:Jane.Adams@osceola.org)>; Amy Templeton <[Amy.Templeton@osceola.org](mailto:Amy.Templeton@osceola.org)>  
**Cc:** Kellie Martin <[Kellie.Martin@osceola.org](mailto:Kellie.Martin@osceola.org)>  
**Subject:** Re: Harmony RV/Boat/Vehicle storage lot questions

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Thank you, Ms. Templeton, I appreciate your response.

Ms. Adams, might you please be so kind as to let me know what next steps would be regarding finding out what types of improvements, if any, would be required at the existing facility (without expanding it) in order to comply with the SPD? The July 1, 2021 letter Ms. Templeton referred to was in response to a request to expand the facility, but the CDD Board would like to know whether/what improvements would be needed if we were to not expand it at all.

Thank you all,  
Kerul Kassel

Dr. Kerul Kassel, Supervisor, Seat 3  
Harmony, Florida  
[Kerul@HarmonyCDD.org](mailto:Kerul@HarmonyCDD.org)  
407-957-1494

**From:** Amy Templeton <[Amy.Templeton@osceola.org](mailto:Amy.Templeton@osceola.org)>  
**Date:** Tuesday, December 27, 2022 at 9:16 AM  
**To:** Kerul Kassel <[Kerul@harmonyccd.org](mailto:Kerul@harmonyccd.org)>, Kellie Martin <[Kellie.Martin@osceola.org](mailto:Kellie.Martin@osceola.org)>, Jane Adams <[Jane.Adams@osceola.org](mailto:Jane.Adams@osceola.org)>  
**Subject:** RE: Harmony RV/Boat/Vehicle storage lot questions

Good Morning,

The maintenance and storage site is required to meet the conditions and standards addressed in the Planned Development document which shall be demonstrated through a Site Development Plan (SDP). You may access the Planned Development document at the following



link. Once you click on the link, type **PD21-00008** in the Permit Number box, click enter, and then click on the document titled "Approved Sheet - PD21-00008 FINAL APPROVAL LETTER AND NARRATIVE.pdf". The Development Review Office can advise you on what types of improvements are acceptable to meet the PD21-00008 requirements. I have copied Jane Adams, the Development Review Manager in this email.

<https://documents.osceola.org/PublicAccess/ControlTemplate.aspx>

Respectfully,

Amy Templeton  
Zoning Manager  
Osceola County Community Development  
Board of County Commissioners  
1 Courthouse Square, Suite 1400  
Kissimmee, Florida 34741  
[Amy.Templeton@osceola.org](mailto:Amy.Templeton@osceola.org)  
407-742-0285 (Direct)  
407-742-0200 (Main)



**From:** Kerul Kassel <[Kerul@harmonyccd.org](mailto:Kerul@harmonyccd.org)>  
**Sent:** Monday, December 19, 2022 12:35 PM  
**To:** Amy Templeton <[Amy.Templeton@osceola.org](mailto:Amy.Templeton@osceola.org)>; Kellie Martin <[Kellie.Martin@osceola.org](mailto:Kellie.Martin@osceola.org)>  
**Subject:** Harmony RV/Boat/Vehicle storage lot questions

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Hello Ms. Templeton and Ms. Martin,

Fred Meek, a Harmony resident, passed on some correspondence to me as I'm a member of the Harmony CDD Board of Supervisors, and I have offered to do some research as to whether the existing RV/Boat/vehicle storage facility on district property can continue its use without being in violation of any county codes or other regulations, and without any additional improvements to the facility itself or the roadway leading to it.

I did review the content that you sent recently to Mr. Meek, and found it a bit confusing regarding this issue. The board is seeking clarity as we do want to be operating within county requirements.

If there are other officials at the county level with whom I should be in touch regarding this issue, please do let me know so that I can reach out to them.

Respectfully,  
Kerul Kassel

Dr. Kerul Kassel, Supervisor, Seat 3  
Harmony, Florida  
[Kerul@HarmonyCDD.org](mailto:Kerul@HarmonyCDD.org)  
407-957-1494

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sent via email: [john@rjwa.net](mailto:john@rjwa.net)

July 1, 2021

John Adams  
RJ Whidden and Associates, Inc  
316 Church Street  
Kissimmee, Florida 34741

**RE: PD21-00008 Approval Letter – Approval to amend and restate the previously approved Harmony Planned Development (PD19-00035) to increase the maximum building heights to 57.5 feet in the Mixed Use for Attached Single Family/Townhome Lots, Multi-Family, Non Residential, and Residential Business; and in the Town Center for Non-Residential; and in the Residential for Non-Residential and Standard Commercial uses.**

Dear Applicant,

Your request for an amendment to the Harmony Planned Development (PD19-00035) was reviewed under Planned Development (PD) application PD21-00008. County staff reviewed and approved this minor amendment based upon the application and the Narrative.

The following revision was categorized as a **minor amendment**:

- Amend the planned development to increase the maximum building heights to 57.5 feet for areas as described in Exhibit F of the attached Planned Development Narrative.

Approval of PD21-00008 amends and supersedes PD19-00035 and all development shall comply with PD21-00008.

**The following Special Conditions imposed from PD19-00035 are being carried forward with this approval:**

1. A Site Development Plan (SDP) is required for the maintenance and storage site. All proposed structures shall be shown on the SDP.
2. Access and Drive aisles for vehicle storage must be paved for the increase in use and shall provide details during the Site Development Plan (SDP) process.
  - The proposed alternative surface for the access road is not approved as part of this amendment. Any proposed alternative surface will be evaluated at the SDP review and require compliance with applicable codes.
3. Building permits are required for all structures including, but not limited to, fences, modular and office buildings.

**The following Special Conditions imposed by the Osceola County Board of County Commissioners on this development at their meeting on November 5, 2018 are being carried forward with this approval:**

4. A major PD amendment will be required if the open space is less than 70% of the total gross acreage.
5. The applicant will include an internal trail that connects the Harmony Central and Harmony East developments to the Town Center subject to agency permitting. This trail may be a raised boardwalk. If the trail cannot be permitted the applicant will construct a Multi-Purpose Trail within the US Hwy 192 right-of-way to accommodate the pedestrian and bicycle access from these neighborhoods to the Town Center.
6. Garages at Galt's Landing shall be architecturally compatible with and ancillary to the primary structure, to be submitted at SDP and subject to staff approval.
7. Operational and intersection improvements shall be required for the intersection of the proposed Taxiway and Old Melbourne Highway. Pavement design, roadway signage, signal beacon(s), and/or markings, etc. shall be reviewed at SDP stage and must comply with all appropriate permitting agencies and the Osceola County Land Development Code.
8. The Developer shall record and enforce a Noise Abatement Zone over the existing residential areas of Harmony prior to any aircraft use for residents of Galt's Landing.
9. Any aircraft utilizing the approved taxiway shall not exceed 40,600 lbs. and shall not be larger than the super mid-size classification of business jets.
10. The Galt's Landing development shall be responsible for the cost of any future improvements to the Taxiway and its safety features resulting from future improvements of Old Melbourne Highway.
11. Aircraft uses shall be limited to personal recreation only. Commercial uses, including but not limited to pilot/flight lessons, are prohibited.
12. Alterations to this PD to increase the approved sizes/weight of aircraft or approved aircraft uses shall require a Major PD amendment.

**The following Special Conditions imposed by the Osceola County Board of County Commissioners on this development at their meeting on June 17, 2013 are being carried forward with this approval:**

13. In accordance with the LDC and the PD narrative, an interconnected pedestrian and bicycle master plan for the Harmony Rural Community must be provided.
14. A sufficient buffer along U.S. 192/41 abutting residential areas shall be incorporated and shown on associated SDPs. The buffer must provide both visual screening from vehicle lights and noise reduction components.

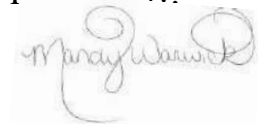
- 15. Pursuant the Development Order condition #53 of the Third Amended and Restated Development Order. Future development tracts will connect to the pedestrian/bike path to the school as part of their infrastructure.
- 16. Parking, landscaping and fencing are to be included in SDPs for recreation tracts.
- 17. Location of the gas line easement on residential parcels shall be reviewed as part of the preliminary subdivision plans but must remain outside of individual single-family residential lots.
- 18. Each garage apartment unit that is on a separate utility meter from the primary structure and has been approved by the Harmony Architectural Review Board shall count as “one unit” toward overall DRI/PD density thresholds.
- 19. Hydrant system must be on a looped water system. No more than 1 hydrant will be allowed on an 8-inch dead end main unless required flow can be substantiated and certified by the engineer of record.

All written commitments made in the application and subsequent submissions of information made during the application review process, which are on file with the Community Development Office, shall be considered to be binding upon the applicant, provided such commitments are not in conflict with the Comprehensive Plan, Land Development Code (LDC) or other development regulations in effect at the time of development.

You must obtain any required Site Development Plan (SDP) approvals and permits from the Building Department prior to construction. Unless the conditions listed above have been complied with, permits will not be issued.

If we can be of further assistance, please contact me at (407) 742-0304, or [mandy.warwick@osceola.org](mailto:mandy.warwick@osceola.org).

Respectfully,



Mandy Warwick  
Project Coordinator

Enclosures: Clean narrative

**Harmony  
Planned Development Amendment**

**Development Report**

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*Exhibit A – Legal Description and Parcel Identification Numbers*

*Exhibit B - Site Aerial*

*Exhibit C - Site Location Map*

*Exhibit D –Master Development Plan*

*Exhibit E - Harmony PD Permitted Uses Table*

*Exhibit F- Development Standards Table*

*Exhibit G– Sandhill Crane Management Plan*

*Exhibit H-1 and H-2 – Regionally Significant Wetlands*

*Exhibit I – Sign CDP09-0001*

*Exhibit J – Water Quality Sampling*

*Exhibit 2 – Maintenance and Storage Facility Site Plan and Boundary Survey*



## 1.0 Intent and Objectives

The Town of Harmony is designed and planned to evoke a sense of community typically found in older neighborhoods by producing a pedestrian-friendly environment; a synergistic mix of residential, recreational, office, and commercial land uses; and a respect for the natural environment. The Town's success comes from the success of the individual neighborhoods. The community standards are intended to ensure the proper planning and design principals resulting in the construction of these neighborhoods. The goal of the Harmony Planned Development (PD) is to enhance the town's natural and recreational amenities while defining architecture that shapes a high quality streetscape and built environment. The specific development standards and specifications contained herein in Section 5.0 and Exhibit F shall implement the intent and objectives this PD.

The primary intent of the Harmony Planned Development (PD) is to establish permitted uses and development standards for the development of a mixed-use Community consisting of residential, recreational, commercial, village commercial, institutional, light industrial and office uses. The area which makes up the PD includes 11,030.9 acres. The Harmony PD is and shall remain consistent with the Osceola County Comprehensive Plan.

The Harmony PD has been designed to meet the intent and requirements defined by the Harmony Rural Community of the Comprehensive Plan and is consistent with the Harmony Master Development Plan.

Portions of the project will be developed as a fully integrated Traditional Neighborhood Development (TND). Specifically, the following objectives will be integrated into the project:

- All neighborhoods will have identifiable centers and edges.
- Pedestrian access will be easily accessible to retail and recreation areas.
- Uses and housing types will be mixed and in close proximity to one another.
- Street networks will be interconnected using relatively short blocks.
- Civic buildings will be given prominent sites throughout the community, where appropriate.
- Buildings will front on and align with streets in a disciplined manner.
- Building alignment generally will be unbroken by paved parking lots.
- Streets will be developed with controlled hierarchy with design parameters to meet high design speed needs as well as local residential/commercial traffic. On-street parking will be allowed where needed.

- Open space squares, greenbelts and parks will be developed to facilitate the need for community outdoor interaction. The total open space for the project will include a minimum of 50% of the gross project acreage in accordance with FLUE Policy 1.3.5.1.4 and Policy 1.3.5.1.8.
- A visually unified Town Center will be developed to promote community social and economic activity by providing retail, commercial, office, recreation and cultural activities as well as job opportunities for the community and surrounding region.
- Overall planning and design will facilitate access to all areas within the property to pedestrians and bicycle traffic.
- Pedestrian, bicycle and horse path connections to available project elements are a significant design element. Neighborhoods are to be designed to allow pedestrian movement from most housing to internal commercial centers. The Town Center will act as a major hub of activity for the community. Development within the Town Center will be comprised of commercial, retail, office, residential and institutional uses. These uses will share building space, with a majority of the residential units on the upper floors.
- Bicyclists will be able to travel to the Town Center via bikeways. Vehicular circulation into and through the property will provide efficient transportation connections through the development of multiple corridor/right-of-way classifications, some of which will utilize on-street parking. All right-of-way development will be designed to function with pedestrian and bicycle traffic as a primary concern.
- The importance of the existing natural landscape within the overall design is demonstrated by the extent of preservation. Florida friendly landscaping will be used as a significant portion of the overall landscape design throughout the project to minimize water consumption and promote a significant visual connection to the preserved natural environmental open space areas within the PD. Minimal impacts are proposed to the on-site wetlands, which will serve as major greenbelt and wildlife corridors throughout the site. Any wetland impacts will be mitigated on-site to the greatest extent possible. These will be tied together with proposed parks, squares and other recreational amenities which will provide places for social activities within the neighborhoods and proposed community plaza spaces.

**Prior PD and CDP Approvals:**

This Planned Development amendment supersedes and PD19-00035.

## 2.0 General Description of the Harmony PD

### 2.1 Project Summary

The 11,030.9 acre site is located within the limits of Osceola County, approximately 4 miles southeast of St. Cloud. The property is bordered on the west by Old Melbourne Highway with frontage along US-192 extending over 9 miles east to the US-192 / US-441 Intersection. The following exhibits are included within this PD Narrative.

- Exhibit A – Legal Description and Parcel Identification Numbers
- Exhibit B - Site Aerial
- Exhibit C - Site Location Map
- Exhibit D – PD Master Development Plan
- Exhibit E– Harmony PD Permitted Uses Table
- Exhibit F – Development Standards Table
- Exhibit G – Sandhill Crane Management Plan
- Exhibit H- Exhibit H-1 and H-2 – Regionally Significant Wetlands
- Exhibit I – Sign CDP09-0001
- Exhibit J – Water Quality Sampling

The project will serve the needs of a growing community and the surrounding area. Varied residential unit types are proposed to respond to a wide range of the residential marketplace. The project will offer a multitude of opportunities ranging from recreation to commercial, office, light industrial and institutional.

The uses identified on the PD Master Plan (Exhibit D) are summarized below. Refer to Exhibit E - Harmony PD Permitted Uses Table for a detailed list of permitted uses within each category.

### 2.2 General Description of Districts

#### 2.2.1. Residential Mixed Use

The Residential Mixed Use Districts accommodates residential development that may be integrated with supporting commercial uses. The Residential Mixed Uses includes Single Family Detached, Single Family Attached, Multi-Family, Condominium, Apartments and Resort Residential Uses. Additional associated uses that are allowed as permitted uses include restaurants, lodges, clubhouses, conference center, banquet facilities, office and retail.

Office uses will be provided within the development to facilitate the needs of professional practices and service orientated businesses. This District allows for the creation of a Residential Business District where residential units incorporated attached office suites are allowed. Residential Business Districts shall be on a distinct tract or parcel identified by plat for that specific use.

Sporting fields including clustered fields with associated parking and facilities may be allowed in the Residential District, where adequate buffering is provided between residential parcels and the facilities.

Resort Residential uses are also allowed within the Residential Mixed Use Parcel provided that they are located on a separate and distinct parcel identified on the plat with adequate buffering provided between other residential parcels.

Residential Mixed Use District parcels allow for other non-residential uses including schools, neighborhood commercial, and recreation facilities as examples.

Platted residential lots may not use the provisions of this District to convert the use of individual lots to commercial, office or other uses that may be allowed within this District.

### **2.2.2. Town Center**

The Town Center will offer a mix of uses including residential (Single Family, Multi-Family, Resort Residential and apartment rentals), commercial, hotel, office, recreational, institutional, civic (including a sheriff station when identified by the county), and public open spaces. The Town Center will be designed to allow for easy vehicular/bicycle/pedestrian access.

### **2.2.3 Standard Commercial**

The Standard Commercial use designation is intended to encourage economic activity and local employment opportunities for both residents of the Harmony Rural Community and surrounding areas. For this reason, this district has been located at the intersection of the proposed extension of Old Melbourne Highway and the multi-modal corridor of US Highway 192 on the eastern portion of the PD. Types of uses found in this category include a variety of retail, office, convenience, entertainment, personal, business, professional services, and other similar consumer commercial uses. Institutional uses which are compatible with and beneficial to the surrounding land use shall also be permitted. Civic uses including a sheriff station when identified by the county shall also be permitted within this designation. Residential uses with a maximum density of 15 dwelling units per acre shall also be permitted within this designation.

### **2.2.4. Non-Residential Mixed Use**

The Non-Residential Mixed Use category is reserved for areas south of US 192 and generally includes utilities, public schools, Harmony Institute facilities, office/warehouse uses, light industrial uses, storage facilities, and other compatible commercial or institutional uses. Civic uses including a sheriff station when identified by the county shall also be permitted within this designation.

### **2.2.5. Institutional**

The Institutional District includes parcels specifically designated for school, government, worship and other related civic uses. While these uses are also allowed in other Districts, the Institutional District is established to allow only specific institutional related uses.

### **2.2.6. Recreation Open Space**

The Harmony rural community must have at least 50% open space; the development activities must not encroach upon wetlands except for crossings; and measures must be taken to conserve environmentally sensitive lands. "Open Space" consists of wetlands, conserved environmentally sensitive lands, conservation, xeric uplands, habitat preserves, agricultural lands, golf course areas, active and passive outdoor recreation lands and facilities, and utility easements, when

determined by the County to meet open space needs. Open space may be used in conjunction with passive recreational activities with the underlying use of the land.

The Harmony rural community may not have a density greater than two dwelling units per gross acre if it has 50% to 70% open space, and a density greater than three dwelling units per gross acre if it has more than 70% open space.

Recreational opportunities will abound within the project, including a sports complex aimed at providing multiuse sports with associated ancillary structures, administration buildings, and concessions. The two natural lakes will be available to the residents of Harmony. A minimum of one 18 hole golf course is completed and open for play to the community residents and guests. Extensive natural wetlands are being preserved. Multiple active and passive parks are included in the project for regional, neighborhood, and community uses. The Town Center will be developed to facilitate multiple recreational and civic opportunities. The project’s overall design will facilitate pedestrian / bicycle movement throughout the property.

**2.2.7 Rural**

The Rural parcels consist of the areas outside of the Urban Growth Boundary. Residential development is limited to a density of 1 dwelling unit per gross area. Specific development standards for the Rural parcels are defined in Section 4.1.8 herein. Rural areas subject to the Harmony PD may also include other agricultural, institutional, or utility related uses consistent with the Rural Policies of the Comprehensive Plan.

**2.3 Development Program**

The Harmony PD will be developed on a phased basis as described by the Harmony DRI. See Exhibit D – PD Master Plan. The Phase Matrix provided below specifies the distribution of residential and non-residential units for each phase of development.

ZONING	PHASE 1 UNITS OR SQ. FT.	PHASE 2 UNITS OR SQ. FT.	PHASE 3 UNITS OR SQ. FT.	TOTAL UNITS OR SQ. FT.
<b>SINGLE FAMILY RESIDENTIAL</b>	2,460*	840*	1,300*	4,600*
<b>MULTI-FAMILY RESIDENTIAL</b>	600*	500*	500*	1,600*
<b>RESORT RESIDENTIAL</b>	400*	300*	300*	1,000*
<b>RURAL RESIDENTIAL</b>	21*	0	0	21*
<b>COMMERCIAL</b>	125,000**	125,000**	100,000**	350,000**
<b>OFFICE</b>	250,000**	125,000**	125,000**	500,000**
<b>LIGHT INDUSTRIAL</b>	350,000**	325,000**	325,000**	1,000,000**
<b>SCHOOL (STUDENTS)</b>	1,500	1,000	0	2,500
<b>MAINTENANCE AND STORAGE</b>	3.2 acres Maximum 0.25 FAR or 35,000**	0	0	35,000**

\*Units \*\*Square Feet

## **3.0 Agricultural, Temporary Uses and Special Events**

### **3.1 Agricultural Uses and Temporary Uses**

The rich agricultural heritage of Harmony remains an important element of the Harmony Community. In order to preserve these roots and enhance the overall community as it grows, it is important that the general agricultural use of parcels be encouraged to continue as long as practical on any given parcel.

Agricultural uses, including the construction and maintenance of associated barns, fences, pens, or storage buildings are permitted uses on all unplatted land. One residential single family detached structure shall be permitted in the open space area outside of the UGB to be used as a manager's residence for the existing Fish Camp. These uses may continue following final subdivision approval if the use is a permitted use within the district as allowed through this PD.

### **3.2 Special Events**

Special Events may be conducted on any property within the PD where Special Events are identified as a permitted use in Exhibit E. Anticipated special events include, but are not limited to festivals, fairs, art shows, concerts, plays, community celebrations, holiday celebrations, fireworks, classic car shows, consumer exhibitions, athletic competitions, and parades. Special events held in the Town Center, or on undeveloped parcels outside the Town Center shall not require a Special Event Permit so long as the event complies with the Osceola Code of Ordinances pertaining to noise, fireworks, sanitary facilities, solid waste removal, or other public safety requirements. Events not in compliance with the above listed code requirements shall obtain a permit(s) to meet the pertinent regulations.

## 4.0 Districts

### 4.1 Residential Mixed Use District

#### 4.1.1 Residential Uses (Detached and Attached)

The Residential Mixed Use District is similar to a traditional mixed use district in that any of the permitted uses listed in this section are allowed. The primary function of the category remains residential with other uses being complementary to the primary residential uses.

The Residential neighborhoods in Harmony will include a mix of single family detached homes over varying sizes, town homes, condominiums, duplex and triplex units, and apartments. Individual neighborhoods may also include other complimentary uses including schools, parks, clubhouses and similar elements found in a mature pedestrian friendly neighborhood. Parks, squares and greens designed for active use shall be included in each neighborhood. Neighborhood planning shall be done with consideration given to preserving and linking existing natural areas. Architectural styles will be varied but will be generally traditional in nature.

Platted residential lots may not use the provisions of this District to convert the use of individual lots to commercial, office or other uses that may be allowed within this District.

Refer to Section 5.0 for applicable development standards for this District.

#### 4.1.2 Non-Residential Uses

##### General Office

General offices uses include free standing office buildings with associated parking and site amenities may be permitted.

##### Neighborhood Commercial

The commercial uses to be located in these areas shall be compatible with and consistent with the surrounding uses. Commercial uses north of US 192 shall be conveniently accessible by pedestrian walkway from adjacent non-commercial districts.

#### 4.1.3 Residential Business Uses

Office Parcels may be developed as Residential Business parcels combining business use with residential units.

In addition to uses similar to and including the permitted uses listed for residential, residential units within the residential business parcels are allowed to include a separate detached or integrated office. Flexible first floor formats may be used to enable near-term first floor residential, with the long term ability to convert to office or business uses, and back to residential again, if the market warrants.

#### **4.1.4 Resort Residential**

The Resort Residential Neighborhoods share the same permitted uses as the Residential neighborhoods. Unlike the traditional residential neighborhoods, the Resort Residential Neighborhoods allow for resort development including condominium, hotel development and other similar types of development providing for overnight lodging. Additional associated uses that are allowed as permitted uses include restaurants, lodges, clubhouses, conference center, banquet facilities, office and retail.

#### **4.1.5 Sports Facilities**

Sporting fields including clustered fields with associated parking and facilities may be allowed in the Residential Mixed Use District, where adequate buffering is provided between residential parcels and the facilities.

#### **4.1.6 Residential (R2) land use designation**

The following standards are established for the Residential (R2) Residential designation:

- 4.1.6.1. Maximum density of 15 units per 1 acre and a minimum density of 2 units per acre. As a goal, minimum density shall strive to achieve 5 units per acre.
- 4.1.6.2. This land use category is generally located in urbanized areas.
- 4.1.6.3. Dwelling unit types permitted within this category include single family detached housing, duplexes, triplexes, townhouses, garden apartments, and similar residential product types.
- 4.1.6.4. To encourage community schools, public educational facilities are permitted.
- 4.1.6.5. Community support uses, such a utility substations, fire and police stations, parks and community open spaces, and other similar community facilities may be permitted.
- 4.1.6.6. Neighborhood support commercial and institutional uses which are compatible with and generally intended to accommodate the convenience, shopping and service needs of residents living within the immediate surrounding area.
- 4.1.6.7. Neighborhood support commercial sites will not exceed 5 acres.
- 4.1.6.8. New development inconsistent with the Master Development Plan shall require an amendment to the Planned Development and shall meet the following criteria:
  - a. New residential development shall be permitted only when there is an existing or planned elementary school within a one mile radius of the proposed site.



- b. New residential development shall be permitted only when there is an existing or planned Community Park within one mile of the proposed site.
  - c. New residential development shall be located within a Town Center Commercial area or within a 3/4 mile of a Standard Commercial area.
- 4.1.6.9. Development standards for Residential (R2) development shall be consistent with Exhibit E Sections 5.1.1.2 and 5.1.1.3.

#### **4.1.7 Residential (R3) land use designation**

The following standards are established for the Residential (R3) designation:

- 4.1.7.1. Maximum density of 25 dwelling units per 1 acre and a minimum density of 8 units per acre. As a goal, minimum density shall strive to achieve 15 units per acre.
- 4.1.7.2. This designation shall encourage a variety of residential design types.
- 4.1.7.3. Dwelling unit types permitted within this category include: townhouses, garden apartments, low-rise apartments, high-rise apartments, and other similar residential product types.
- 4.1.7.4. To encourage community schools, public educational facilities are permitted.
- 4.1.7.5. Community support uses, such as utility substations, fire and police stations, parks and community open spaces, and other similar community facilities may be permitted.
- 4.1.7.6. Neighborhood support commercial and institutional uses which are compatible with and generally intended to accommodate the convenience, shopping, and service needs of residents living within the immediate surrounding area.
- 4.1.7.7. Neighborhood support commercial sites will not exceed 5 acres.
- 4.1.7.8. New development inconsistent with the Master Development Plan shall require an amendment to the Planned Development and shall meet the following criteria:
  - a. New residential development shall be permitted only when there is an existing or planned elementary school within a one mile radius of the proposed site.
  - b. New residential development shall be permitted only when there is an existing or planned Community Park within one mile of the proposed site.

- c. New residential development shall be located within a Town Center Commercial area or within a 3/4 mile of a Standard Commercial area.

- 4.1.7.9. Development standards for Residential (R3) development shall be consistent with Exhibit F Sections 5.1.1.2 and 5.1.1.3.

#### **4.1.8 Rural land use designation**

The following standards are established for the Rural Residential designation:

- 4.1.8.1. Maximum density of 1 unit per 5 gross acres.
- 4.1.8.2. This land use category is located outside of the Urban Growth Boundary.
- 4.1.8.3. Dwelling unit types permitted within this category include single family detached housing.
- 4.1.8.4 Residential Tracts: Residential density shall be one (1) dwelling unit per five (5) acres, based on total acreage. Building height shall follow the standards for LDR contained in the LDC. Minimum lot size shall be ½ acre. Development standards for ancillary structures shall be as follows:
  - a. Accessory uses listed as ancillary in the residential siting standards of the LDC shall be placed a minimum of five feet (5') behind the front entry of the principal structure and a minimum of five feet (5') from rear and side property lines. Accessory structures such as garages, garage apartments, carports, pole barns, stables, or like uses are exempt from this requirement, however, such uses shall not be located within any easement that prohibits obstructions.
  - b. Accessory taxi ways and drive ways large enough to accommodate the travel way and storage of personal aircraft.
- 4.1.8.5. Agritourism or Eco-Tourism activities and their associated structures shall be permitted subject to the following:
  - a. Any agritourism development that is intended to be used for overnight lodging shall not be occupied for a period of more than ninety consecutive days, excluding on-site management or staff housing.
  - b. Property used for agritourism development shall be located with access to a paved road. The development's interior roads do not need to be paved but should be similar in nature to any existing roads on the property or to a typical Florida ranch road so as to minimize the impact on the character of the area.
  - c. All principal structures, accessory structures, temporary structures and tent spaces shall be set back a minimum of fifty (50) feet from any perimeter property boundary line.

- d. Guest and employee parking area(s) shall be located and designed consistent with the environment in which they are located so as not to detract from the setting in which they are placed.
- e. Within the agritourism development, ancillary uses are permitted as follows:
  - Recreation amenities restricted to use by guests, including recreation rooms, equestrian facilities, nature and walking trails, playgrounds, docks or similar facilities
  - Entrance welcome center or gate houses or similar facilities designed to provide information, check in and/or security to the development
  - Maintenance facilities and housing for the management and staff
  - Administrative office space necessary for operation of the agritourism development; and small conference/educational meeting areas
  - Commercial or retail use located and accessed internal to the development and restricted to use by guests, including central lodge, restaurants, convenience food and beverage items or other retail usage, and other ancillary support facilities.
  - Manager's residences

**Permitted Uses:** Permitted uses are listed in Exhibit E.

Permitted uses are subject to the development standards as defined within this PD. When relevant development standards for a particular use are not defined within this PD, the requirements of the Osceola County Land Development Code shall apply.

Other similar uses which are reasonably implied and are consistent with the objectives of this zoning, based on appropriate consideration of the nature of the intended activity, the character of the neighborhood, the location of the site and its compatibility with adjacent parcels will also be permitted subject to the approval of the County Manager.

## 4.2 Town Center District

The Town Center will be the primary mixed use hub for the community. It will accommodate a variety of commercial activities in conjunction with civic open spaces and buildings. The Town Center may include residential and workplace uses in deference to the purpose and character of local commercial activities. A visually unified Town Center will be developed to promote community, social and economic activity. The predominant land and building use will be commercial, but will also include supportive office, residential, recreation, civic and cultural activities as well as job opportunities for the community and surrounding region. The Town Center will be developed in the manner of a TND (Traditional Neighborhood Design) with an orientation toward a central park, pedestrian accessibility, street front architecture and a disciplined roadway hierarchy.

The Town Center may include multistory buildings that provide space for businesses on the first floor (primarily retail and service), and for residences or offices on the upper floors. Flexible first floor formats may be used to enable near-term first floor residential, with the long term ability to convert to commercial uses if the market warrants. In live-work buildings, business owners can live above their place of business. Apartment buildings and parking structures are also allowed.

It is desirable, though not required, that government offices and meeting rooms, libraries, community centers, post offices, performing arts centers and other civic buildings that are in complementary scale be located within or adjacent to the Town Center.

The Town Center shall be integrally connected by streets and walkways to abutting residential and other TND parcels.

Resort and Residential Units are an allowed use within the Town Center where adequate buffering is between any traditional residential parcels or tracts.

Permitted uses within the Town Center District are listed in Exhibit E.

Permitted uses are subject to the development standards as defined within this PD.

When relevant development standards for a particular use are not defined within this PD, the requirements of the Osceola County Land Development Code shall apply.

Other similar uses not specifically listed in Exhibit E which are reasonably implied and are consistent with the objectives of this zoning, based on appropriate consideration of the nature of the intended activity, the character of this district, the location of the site and its compatibility with adjacent parcels, will also be permitted subject to the approval of the County Manager.

#### **4.3 Non-Residential Mixed Use District**

The Non-Residential Mixed Use category is reserved for areas south of US 192 and the eastern area of the project that generally includes water and wastewater utilities, public schools, Harmony Institute facilities, office/warehouse uses, light industrial uses, outdoor RV and Boat storage, storage facilities, and other compatible commercial or institutional uses. Buildings in this district should be architecturally attractive and surrounded by landscaped yards. Manufacturing, assembly utility and warehousing activities will be designed and conducted so that any noise, odor, dust and glare from each operation is completely confined within an enclosed building.

Uses may be dependent on highway connections and result in excessive, but brief, demands on the district street system.

**Permitted Uses:** Permitted uses are listed in Exhibit E.

Permitted uses are subject to the development standards as defined within this PD. When relevant development standards for a particular use are not defined within this PD, the requirements of the Osceola County Land Development Code shall apply.

Other similar uses which are reasonably implied and are consistent with the objectives of this zoning, based on appropriate consideration of the nature of the intended activity, the character of this district, the location of the site and its compatibility with adjacent parcels, will also be permitted subject to the approval of the County Manager.

#### **4.4 Standard Commercial District**

The commercial uses to be located in this area shall be compatible and consistent with the surrounding uses. Commercial uses within this area shall be served by a multi-modal corridor on the eastern portion of the Harmony Community. This PD proposes to extend Old Melbourne Highway from the north property line through development areas in the eastern neighborhoods and terminate the roadway at its intersection with US Highway 192. US Highway 192 will provide for multi-modal access opportunities for vehicular, pedestrian and bicycle opportunities for both the residents of Harmony and surrounding communities. Refer to Section 5.0 for applicable development standards for this District.

**Permitted Uses:** Permitted uses are listed in Exhibit E.

Permitted uses are subject to the development standards as defined within this PD. Residential uses within this district shall be limited to a maximum of 15 dwelling units per one acre. When relevant development standards for a particular use are not defined within this PD, the requirements of the Osceola County Land Development Code shall apply.

Other similar uses which are reasonably implied and are consistent with the objectives of this zoning, based on appropriate consideration of the nature of the intended activity, the character of this district, the location of the site and its compatibility with adjacent parcels, will also be permitted subject to the approval of the County Manager.

#### **4.5 Institutional District**

The Institutional District includes parcels specifically designated for school, government, worship and other related civic uses. While these uses are also allowed in other Districts, the Institutional District is established to allow only specific institutional related uses.

**Permitted Uses:** Permitted uses are listed in Exhibit E.

Permitted uses are subject to the development standards as defined within this PD. When relevant development standards for a particular use are not defined within this PD, the requirements of the Osceola County Land Development Code shall apply.

Other similar uses which are reasonably implied and are consistent with the objectives of this zoning, based on appropriate consideration of the nature of the intended activity, the character of this district, the location of the site and its compatibility with adjacent parcels, will also be permitted subject to the approval of the County Manager.

#### **4.6 Recreation Open Space District**

The Harmony project is designed to provide substantial amounts of open space, active and passive recreation areas and a landscape design using the natural environment. To achieve this design goal this project required to set aside a minimum 50% of the entire project site as open space.

**Permitted Uses:** Permitted uses are listed in Exhibit E.

Permitted uses are subject to the development standards as defined within this PD. When relevant development standards for a particular use are not defined within this PD, the requirements of the Osceola County Land Development Code shall apply.

Other similar uses which are reasonably implied and are consistent with the objectives of this zoning, based on appropriate consideration of the nature of the intended activity, the character of this district, the location of the site and its compatibility with adjacent parcels, will also be permitted subject to the approval of the County Manager.

#### **4.7 Conservation District**

The Conservation District includes Buck and Cat Lakes, wetlands, recreation open space and other dedicated uplands comprising approximately 7,975 acres of the overall PD. A portion of the Conservation District totaling 3,284.7 acres is proposed as a Conservation Easement subject to the permitting requirements of the SFWMD. This Conservation Easement area will maintain passive recreational opportunities by SFWMD permit and provide for maintenance and enhancement of significant jurisdictional resources for onsite mitigation value for the Harmony Rural Community.

Uses allowed within conservation/preservation areas are limited to those that provide limited access to and enjoyment of the conservation areas while also preserving and protecting these areas. These uses may result in minor encroachments into the Conservation/Preservation tracts. Silvicultural or agricultural activities are permitted in the upland areas of the conservation/preservation tracts subject to permitting from the South Florida Water Management District (SFWMD). Any encroachments must minimize impact to the natural and/or intended functions of these conservation/preservation areas.

The on-site wetlands systems, upland buffers, other conservation tracts and mitigation areas shall be regarded as preservation areas for the purpose of protecting their natural attributes and shall have their developmental uses restricted by conservation easement as provided in Florida Statutes. These areas are depicted on the Master Development Plan provided in Section 8 herein. Easements shall be conveyed to the Florida Fish and Wildlife Conservation Commission, the Florida Department of Environmental Protection,

Osceola County or other state or federal agency or any organization dedicated to conservation and acceptable to the county.

Upland buffers between on-site wetlands and any type of development or land alteration shall be established in accordance with South Florida Water Management District permit approvals, but shall be no less than an average 50 feet, minimum 25 feet in width for regionally significant wetlands as identified on Exhibits H-1 and H-2.

Regionally significant wetlands and their associated upland buffers as depicted on Exhibits H-1 and H-2 shall be placed under conservation easements. The conservation easements may be conveyed in conjunction with the SFWMD ERP permitting, but in no instance shall be delayed until after construction begins for the parcel permitted.

**Permitted Uses:** Permitted uses are listed in Exhibit E

Permitted uses are subject to the development standards as defined within this PD and to the permitting conditions of the SFWMD. When relevant development standards for a particular use are not defined within this PD, the requirements of the Osceola County Land Development Code shall apply.

Other similar uses which are reasonably implied and are consistent with the objectives of this zoning, based on appropriate consideration of the nature of the intended activity, the character of this district, the location of the site and its compatibility with adjacent parcels, will also be permitted subject to the approval of the County Manager.

#### **4.8 Maintenance/Storage District**

The maintenance/Storage District includes a 3.2 acre parcel located behind the existing golf course maintenance site to the west and the existing community garden to the south. The balance of the site is surrounded by conservation lands to the north and east and the open space gas line easement to the south. The aforementioned golf course maintenance building is located immediately to the west. Because this district is isolated, other than the proposed 10' fence with opaque screening along the southwest and west parcel boundaries, no buffering, setbacks from district boundaries are necessary to screen the storage uses.

**Permitted Uses:**

The following uses shall be permitted within the Maintenance/Storage District:

- Storage of construction equipment and supplies. Vehicular storage will include the following:
  1. Landscape Maintenance Equipment including Tractors, trailers, mowers
  2. Construction Equipment on or off Trailers
  3. Commercial Trucks and/or Vans
  4. Recreational Vehicles, Class A, B and C.
  5. Boats

6. Utility Trailers
  7. Shipping Containers
  8. Small modular buildings shall also be permitted.
- Field Services/Maintenance Office (maximum 10,000 sf – maximum 25' height)

Notes:

1. Vehicles or Equipment stored in the storage yard will be limited to a maximum height of 12 ft.
2. The existing access road to the subject site will remain as an unpaved stabilized road. Minimum specification for the stabilized un-paved road shall be: 6" Limerock, Shell, Crushed Concrete, or RAP (Recycled Asphalt Paving), compacted to 98% maximum density per ASSHTO T-180, with a minimum LBR of 100.
3. All storage shall be limited to equipment and vehicles for construction use within the Harmony Development, for maintenance and landscaping use within the Harmony Development, and/or for the residents of the Harmony Development.
4. Modular and office buildings shall be limited to use by maintenance crews for the upkeep of the Harmony Development.



## 5.0 Development Standards

### 5.1 Residential Mixed Use

#### 5.1.1 Residential Development Standards

##### 5.1.1.1 Detached Single Family Lots:

Refer to Exhibit F for Relevant Development Standards

##### Accessory Dwelling Units and Garage Apartments:

A single Accessory Dwelling Unit or a single Garage Apartment is permitted within a Detached Single Family Lot.

An accessory dwelling unit (i.e. residential family suite, bonus room, game room or similar use) is allowed within the primary structure or as an accessory structure on the lot. This accessory unit shall not be sold independent of the principal structure.

Garage apartments are an allowed use (permitted) provided that they are identified on the building permit application and are constructed prior to obtaining a Certificate of Occupancy for the principal dwelling. Development of a garage apartment subsequent to issuance of the Certificate of Occupancy for the principal dwelling may be authorized. If the use of the Garage Apartment is for rental purposes (and not for family use), it will be designated as a 'garage apartment' and will require receipt of 'Rental Qualifications' from the Harmony Architectural Review Board (ARB) as provided in the Declaration of Covenants and Restrictions and will be separately metered for utility purposes.

The minimum square footage for a garage apartment is 400 square feet; the maximum is 1,000 square feet.

Garage apartments and residential family suites require 1 additional vehicular parking space. This required space is in compliance where on-street parking is integrated into roadway design. Where roadway design does not provide for onstreet parking, an additional parking space shall be provided for on-site of the residential lot. Such design shall require a total of 5 vehicular parking spaces per residential lot.

##### 5.1.1.2 Attached Single Family / Townhome Lots:

Refer to Exhibit F for Relevant Development Standards.

#### 5.1.2 Non Residential Development Standards

Refer to Exhibit F for Relevant Development Standards.

This Section also applies to Multi-Family Development including Condominium and Apartments.

**Landscape Buffers or Screen walls between different uses:** Visual screening is required when outdoor storage or staging areas are visible from adjacent incompatible uses or in any instance where viewed from a public right-of-way.

**Parking:** Parking requirements are included in Exhibit F. Where off- site parking is used, a minimum of 50% of the required parking shall be provided on-site. Any off-site parking shall be within 500 ft. of the associated use.

**Solid Waste:** Dumpsters or compactors must be located within walled enclosures.

**5.1.3 Residential Business Standards**

Refer to Exhibit F for density and dimensional development standards.

Additional standards related to this use are defined below: Maximum size of the office or business component of each of the permitted lot types is specified below:

<b>Lot Type</b>	<b>Maximum area dedicated to office or business use per residential unit. * (In addition to Residential Area)</b>
Single Family Detached	1,500 SF
Townhome/Multi-Family	900SF

*\*Office space is not transferable between units.*

**Additional Parking Standards:**

Parking may be provided through a combination of on-street and off- street parking. The total number of spaces required for non-residential uses and the total number of required ADA spaces will be based on the total amount of nonresidential space over the entire parcel. While individual parking spaces will be counted toward individual office units, ADA spaces will be shared among all units. Individual lot owners cannot sell or assign parking spaces to other lots.

Where off-site parking is used, a minimum of 50% of the required parking shall be provided on-site. Any off-site parking shall be within 500 ft. of the associated use.

Minimum parking requirements shall be based on the following:

For the Residence: Minimum of 2 spaces per unit

For the Office: 1 space per 300 SF

## 5.1.4 Resort Residential

### 5.1.4.1 Residential

Refer to Exhibit F for Development Standards

### 5.1.4.2 Non-Residential Uses

Refer to Exhibit F for Development Standards

## 5.1.5 Residential R-2

### 5.1.5.1 Residential

Refer to Exhibit F for Development Standards

### 5.1.5.2 Non-Residential Uses

Refer to Exhibit F for Development Standards

## 5.1.6 Residential R3

### 5.1.6.1 Residential

Refer to Exhibit F for Development Standards

### 5.1.6.2 Non-Residential Uses

Refer to Exhibit F for Development Standards

## 5.2 Town Center

Refer to Exhibit F for Development Standards

**Landscape Buffers or Screen walls between different uses:** Visual screening is required when outdoor storage or staging areas are visible from adjacent incompatible uses or in any instance where viewed from a public right-of-way.

**Solid Waste:** Dumpsters or compactors must be located within walled enclosures.

## 5.3 Non-Residential Mixed Use

Refer to Exhibit F for Development Standards

**Landscape Buffers or Screen walls between different uses:** Visual screening is required when outdoor storage or staging areas are visible from adjacent incompatible uses or in any instance where viewed from a public right-of-way.

**Parking:** Overall parking requirements shall be provided in accordance with the Osceola County Land Development Code. Total parking requirements may be satisfied through a combination of onsite parking, on-street parking, and shared off-site parking. Where off-site parking is used, a minimum of 50% of the required parking shall be provided onsite. Any off-site parking shall be within 500 ft. of the associated use.

**Solid Waste:** Dumpsters or compactors must be located within walled enclosures.

#### 5.4 Standard Commercial

Refer to Exhibit F for Development Standards

**Landscape Buffers or Screen walls between different uses:** Visual screening is required when outdoor storage or staging areas are visible from adjacent incompatible uses or in any instance where viewed from a public right-of-way.

**Parking:** Overall parking requirements shall be provided in accordance with the Osceola County Land Development Code. Total parking requirements may be satisfied through a combination of onsite parking, on-street parking, and shared off-site parking. Where off-site parking is used, a minimum of 50% of the required parking shall be provided onsite. Any off-site parking shall be within 500 ft. of the associated use.

**Solid Waste:** Dumpsters or compactors must be located within walled enclosures.

#### 5.5 Institutional District

Refer to Exhibit F for Development Standards

**Landscape Buffers or Screen walls between different uses:** Visual screening is required when outdoor storage or staging areas are visible from adjacent incompatible uses or in any instance where viewed from a public right-of-way.

**Parking:** Overall parking requirements shall be provided in accordance with the Osceola County Land Development Code. Total parking requirements may be satisfied through a combination of onsite parking, on-street parking, and shared off-site parking. Where off-site parking is used, a minimum of 50% of the required parking shall be provided onsite. Any off-site parking shall be within 500 ft. of the associated use.

**Solid Waste:** Dumpsters or compactors must be located within walled enclosures.

#### 5.6 Recreation / Open Space District Criteria and Standards

##### 5.6.1 General Criteria and Definitions

The Harmony project is designed to provide substantial amounts of open space, active and passive recreation areas and a landscape design using the natural environment.

The Harmony PD is required to set aside a minimum of 50% of the overall gross development area as open space.

**5.6.1.1. Common Area Open Space:**

To achieve the 50% requirement, the following uses (both existing and proposed) will be defined as open space.

- Existing natural lakes
- Golf courses, including associated facilities
- Retention/detention ponds
- Pervious access tracts (minimum 20' width)
- Gas line easement
- Parks
- Defined greenbelts and wildlife corridors
- All proposed pedestrian sidewalks and bicycle paths (pervious and impervious).
- Outdoor recreational fields, associated facilities, and sports complex elements.
- Public squares/ courtyards (pervious and impervious)
- Open Air Amphitheaters
- Separate dedicated landscape/utility tracts
- Dedicated uplands
- Sidewalks and Plazas
- Trails and Boardwalks
- Wetlands and associated buffers and upland preserves
- Mitigation areas and Conservation areas

**Total Common Open Space Calculations**

Wetland Conservation	1,933.7 ac
Lakes (Exclusive of Cat Lake)	518.0 ac
Open Space / Recreation	2,065.9 ac
Xeric Preserve	14.6 ac
Habitat Preserve	26.2 ac
Conservation Easement (Including Cat Lake)	3,240.7 ac
<b>Total Open Space</b>	
	<b>7,799.1 ac</b>
<b>Total PD Area</b>	<b>11,030.9 ac</b>
<b>Total % Common Open Space Provided</b>	<b>71%</b>

**5.6.1.2. Individual Tracts Open Space Requirements**

**5.6.1.2.a. Residential**

No additional open space will be required for Residential, or Resort Residential. Open space and parks will be provided and interconnected

with the uses (pedestrian/bikeway paths). The open space and parks will be dedicated as separate tracts.

**5.6.1.2.b. Non-Residential (15% min.)**

The following will qualify in meeting the 15% minimum open space requirement for the land use:

- All buffer zones
- All landscape areas including parking lot islands
- All building setbacks to parcel boundary (pervious area)
- Internal wetland preservation areas
- Internal retention/detention ponds designed as amenities (unfenced).
- All pervious areas, including easements
- All permanently undeveloped uplands
- Sidewalks and Plazas

**5.6.1.3. Recreation Requirements**

Active and passive recreation uses will be located throughout the project to serve individual residential tracts, the overall community and the general public. An 18 hole golf course was developed for community residents and guests. The project will include a minimum of 20-acres of community parks. The development will include an extensive system of bicycle/pedestrian paths, nature, observation and fitness trails with environmental education stations, greenbelts and buffer areas designed to utilize the extensive amount of natural open space elements that will comprise 70% of the overall site. Pedestrian and bike paths will utilize the roadway systems and or separate bike path systems adjacent to roadways throughout the project. To accomplish this, the framework roads will be constructed in accordance with the LDC.

**5.6.1.3.a. Active Recreation**

Includes those facilities which provide the necessary equipment and infrastructure for multi-use fields used for organized sports, community tennis courts, volleyball courts, baseball and soccer fields, swimming pools and other recreational facilities.

**5.6.1.3.b. Passive Recreation**

All other recreational facilities such as (but not limited to):

- The equestrian pathway throughout the entire community
- Passive walking paths, bike trails etc.
- Open space/parks with lighting for public safety only

**5.6.2 Development Standards for Sports Complex**

Refer to Exhibit F for dimensional development standards.

**Maximum Permanent Seating:** 1,320 affixed seats

**Minimum Parking Allowed for Sports Complex:** 1 parking space for every 4 affixed seats.

**Maximum Parking Allowed for Sports Complex:** 330 parking spaces specifically related to the number of affixed seats (ancillary structures, administration buildings, and concessions may have associated parking based on LDC requirements).

Where off-site parking is used, a minimum of 50% of the required parking shall be provided on-site. Any off-site parking shall be within 500 ft. of the associated use.

### **5.6.3 Development Standards for Parks:**

Development standards for parks are for permitted structures as defined in Exhibit E, such as administrative support, pools, fountains, restrooms, shade structures, play structures and other similar structures associated with park and recreation facilities.

Refer to Exhibit F for associated dimensional development standards.

## **5.7 Conservation District Criteria and Standards**

Substantial areas of the project are to be preserved in their natural state, with limited uses allowed. The following will apply to these areas which are designated on the Master Development Plan (Exhibit D).

### **5.7.1. Setbacks**

The following minimum distances to adjacent wetlands will be adhered to in the project design and construction:

- 5.7.1.1. Storm water wet detention ponds/flow ways are to be no closer than 200 feet, and roadways with underdrains no closer than 50 feet, unless one or more of the following conditions are met:
- 5.7.1.2. Adverse impacts on affected wetland vegetative communities from excessive drying out in part to lateral subsurface seepage from the wetland area(s) in the ponds during drought or low water periods have been determined not to be an applicable issue of concern by the South Florida Water Management District and Osceola County; or
- 5.7.1.3. The South Florida Water Management District and Osceola County accept test, calculations or other information furnished by the applicant through the permitting and project review processes which demonstrate that deviations from the 50 and 200 foot setbacks are appropriate; or

- 5.7.1.4. The elevations of the bottoms of the storm water wet/detention lakes/ponds, flow ways or roadway under drains are higher than the ordinary low water elevation in each potentially impacted wetland area.
- 5.7.1.5. If it is found that deviations from the 50' and 200' setbacks are acceptable by the governing agencies, a 25' minimum setback is required and will be established from all wetlands designated on the Master Development Plan.

### **5.7.2. Existing Water Body Parameters**

- 5.7.2.1. Access to Buck and Cat Lakes will be restricted to members of the Harmony PD, which includes Harmony residents and their accompanying guests, as well as authorized representatives of the Developers, HOAs, CDDs, and other recognized Harmony organizations. A no wake zone will be established to help maintain shoreline vegetation.
- 5.7.2.2. Boat ramps, docks and swimming areas will be designed to protect the wetlands on the lake shoreline to the highest degree possible.
- 5.7.2.3. Boat ramps and community docks will be located in areas currently used for lake access and from the Rural areas.
- 5.7.2.4. All wetlands outside of the jurisdiction of DEP and not identified for impact elsewhere in these recommendations shall be retained and incorporated into the stormwater management system in such a manner as to maintain current or restore historic hydro periods and wildlife values.

### **5.7.3. Permitted Uses**

Permitted uses within conservation/preservation areas are listed in Exhibit E. These uses must result in only minor encroachments into the Conservation/Preservation tracts. No silvicultural or agricultural activities are permitted in these areas. Any encroachments must not adversely impact the natural and/or intended functions of these conservation/preservation areas.

### **5.7.4. Dedications**

All Conservation/Preservation areas within the PD shall be defined by providing the following information at the Preliminary Subdivision (PS) or Site Development Plan approval level of project review.



5.7.4.1. Conservation label as to major function/use.

5.7.4.2. Total acres within tract.

All defined conservation/preservation tracts will have a conservation easement placed over their boundary and dedicated to the South Florida Water Management District, Florida Fish and Wildlife Commission (FFWC), the Florida Department of Environmental Regulation (FDEP), Osceola County or other state or federal agency; or any organization dedicated to conservation and acceptable to Osceola County.

All required maintenance and monitoring of the defined Conservation/Preservation tracts are to be conducted by the Developer and/or its assigns. Statuses of all onsite defined Conservation/Preservation areas are to be addressed and submitted to the appropriate governmental agencies for review pursuant to permit requirements.

## **5.8 Special Protection Areas Criteria and Standards**

### **5.8.1 Cat Lake Rookery**

Permanent educational signs shall be installed at the boat ramp on Cat Lake with information concerning wading birds and the rookery area on the south shore of the lake. The sign should contain biological facts about the nesting habits of these species and warnings about disturbance during nesting season. During periods of active use of the rookery site by wading birds, the Developer or its successors shall be responsible for deployment and maintenance of warning buoys within the lake. These buoys shall be located a minimum of 500 feet waterward from the rookery location. The buoys shall be educational in nature but also restrict encroachment by boat or person during nesting seasons. The placement of buoys shall be subject to permit requirements of the SFWMD.

### **5.8.3 Sandhill Crane Habitat**

The Developer, his successors and assigns shall be responsible for funding and implementing the sandhill crane management plan approved by staff of the FFWCC, DEO and ECFRPC, attached hereto as Exhibit "D". Such plan establishes foraging habitat within the Phase 1 golf course and shall also include the preservation and maintenance of 90 acres of grasslands. This plan includes a commitment by the Developer, his successors and assigns, to fund and operate a perpetual maintenance system for the preserve areas and the golf course. To implement the plan, the Developer, his successors and assigns shall adhere to the following requirements:

5.8.3.1 Management of the golf course includes standard golf course management techniques. A total of five acres of golf course land littoral zones shall continue to be managed in perpetuity to provide a shallow emergent wetland habitat. Such emergent wetland habitat provides both nesting and foraging habitat for Florida Sandhill Cranes. Littoral zones have been provided within ponds adjacent to wetlands in the golf course.

5.8.3.2 Approximately 90 acres of existing pasture will be maintained according to the approved Habitat Management Plan attached herein in Section 8, Exhibit I, until such time that the Site Development Plan (SDP) for the development in the area as approved in the PD has been reviewed and approved by FFWCC and Osceola County. The SDP for development within the area as identified within the PD will identify at least 90 acres that has been approved by the FFWCC as the Sandhill Crane Management area. Upon approval of the SDP, the new areas identified as Sandhill Crane Management Area will be managed in perpetuity according to the approved Habitat Management Plan. This Sandhill Crane Management Area will be placed under conservation easement at the time of SDP approval. The Master Development Plan shall be amended to reflect this change during the next PD Amendment submittal. Gopher tortoises are known to occur on the property. Prior to development within the upland areas of the property, appropriate surveys must be conducted for the presence and density of population of this species of special concern. Permits for development from FFWCC shall be obtained prior to construction activities. Mitigation for impacts to gopher tortoises should be accomplished by expanding the existing on-site gopher tortoise preserve and/or provide another on-site area approved by FFWCC.

**5.9 Water Quality**

5.9.1 In order to effectively monitor the project’s effects on surface water conditions, the developer or his successors shall provide for the establishment and operation of a surface water-monitoring program consisting of the following components: Surface water samples shall be collected at the following locations on Exhibit J for the three development phases on the Master Development Plan:

5.9.1.1. Phase 1

5.9.1.1.1. At the following locations as identified on Figure 14-1 (attached as Exhibit M hereto):

WLS –1, C-2, C-3, WLS-2, WLS-3N, WLS-3S, WLS-4

5.9.1.1.2. In the centers of Buck Lake and Cat Lake;

5.9.1.2. Phase 2

5.9.1.2.1 Prior to the issuance of final site plan approvals, a proposed surface water-monitoring plan shall be prepared and submitted to the ECFRPC and SFWMD for review and approval.

If water quality standard violations are detected at any sampling station, the applicant shall immediately proceed with the development and implementation of an expanded water quality-sampling program in coordination with the County and the Water Management District.

- 5.9.1.3. The water samples shall be collected and analyzed at least four times annually on a seasonal basis, with the sampling commencing within six months following the issuance of the building permit for the first phase, with the following schedule being adhered to for both phases of project development:
- 5.9.1.3.1. At least the initial set of samples for each Development Phase prior to land disturbances associated with clearing, land preparation, construction or other forms of project development activity:
  - 5.9.1.3.2. The sampling period for each phase shall extend at least four years beyond the date of either of the following conditions:
    - i. project (phase) build-out; or
    - ii. a declaration by the applicant or successors that:
      - a. the project (phase) is completed; or
      - b. no additional construction is planned or contemplated, regardless of the status of project phasing. However, if project construction should be re-initiated at any time following the declaration, the conditions of the sampling programs shall also be applicable.
      - c. Water quality parameters to be measured will be determined by the South Florida Water Management District, with input from the local government of jurisdiction. Collected data shall be furnished to the Water Management District and Osceola County.
- 5.9.2 The developer (or owners/successors, as applicable) will incorporate additional water quality treatment and/or water management methods into the project's surface water management system to correct or mitigate any degradation if the measures implemented by the developer/owners are found to be ineffective or to adversely impact water quality/quantity conditions on or downstream of the project site.

## 6.0 Development Infrastructure

### 6.1 Roads and Alleys

Roads within the Harmony PD will be dedicated and maintained consistent with LDC requirements in one of the three following scenarios:

- 6.1.1. The entire right of way including sidewalks may be dedicated to and maintained by Osceola County where approved and platted as such.
- 6.1.2. Roads from back of curb to back of curb may be dedicated to and maintained by Osceola County with the adjacent landscaping and utility tracts being owned and maintained by the Harmony CDD.
- 6.1.3. Roads may be dedicated to and maintained by a private association. Gates shall be allowed on streets, alleys or sidewalks that are dedicated to a private entity consistent with Land Development Code (LDC) requirements.

(See Paragraph 6.2 for more information regarding landscape and utility tracts).

The roadway system will also consist of privately owned and maintained alleys within the town center and residential neighborhoods. Roadway and alley typical sections will vary based on the requirements of the adjacent development and depending on when on-street parking is being provided.

At the Subdivision level of review, the items listed below will be shown as to their precise location, with all dimensions indicated on the plans.

1. All proposed right-of-way types will be defined with typical sections and plan views. Typical sections will identify the approximate location of pavement, sidewalks, bikeways and alleys.
2. Private and County right-of-way dedication procedures are to be identified.
3. Roadway access to the overall site and each individual tract will be identified.
4. Landscape and utility tracts will be identified as to location.
5. Other forms of access, including pedestrian, bikeway and equestrian will be identified on the plans as to appropriate locations.

### 6.2 Landscape and Utility Tracts

Landscape and Utility Tracts shall be owned by a Community Development District or Osceola County and function as public right of way for the purpose of sidewalks, street trees, street lighting and other utilities and drainage infrastructure. Landscape and Utility tracts shall be at least 12' in width with sidewalks at least 4' in width.

Landscape and Utility Tracts associated with private streets and/or within gated neighborhoods will be owned and maintained by the same private association that owns and maintains the streets consistent with LDC requirements.

### **6.3 Parking Standards**

Unless specified within the development standards of the applicable use category included in Section 5 of this PD, parking shall meet the minimum requirements of the Osceola County Land Development Code.

Accessible Parking shall be provided in conformance with applicable ADA guidelines.

Alternative parking standards are acceptable for infrequent parking uses associated with Harmony Institute uses, or other Institutional or Special Event uses. Acceptable alternative parking standards for infrequent use include grass parking or stabilized unpaved parking surfaces. When the proposed activity conforms to the requirements of this PD, the alternative parking plan does not require additional review.

### **6.4 Landscaping Standards**

Landscape design guidelines are to be prepared and submitted for review at the SDP level of project review. Items to be included within the SDP landscape design guidelines will include:

- 6.4.1. Defined plant palette
- 6.4.2. Landscape buffer planting requirements
- 6.4.3. Right-of-way planting requirements
- 6.4.4. Specific use planting requirements (per land use)
- 6.4.5. Parking lot planting requirements
- 6.4.6. Tree planting requirements (per land use)
- 6.4.7. Irrigation requirements

Implementation of the landscape design guidelines will take place at the SDP level of project development with the submittal depicting all element locations and compliance with the Osceola County Land Development Code Article 4.8.

## 6.5 Site Lighting

All exterior lighting shall be dark sky friendly through the use of fixtures that point downward and have full cut-off or partial cut-off glare shields or are sufficiently low lumens to cause deminimus light pollution.

The Illuminating Engineering Society of North America defines full cutoff as light distribution that occurs at or above an angle 90 degrees above the bottom of the light source.

## 6.6 Water and Wastewater Utilities

The Harmony PD will utilize central water and sewer services within the Osceola County Urban Growth Boundary. The parcels identified on the Master Development Plan for Rural, open space and passive recreational opportunities outside of the UGB shall be service by individual well and septic systems.

## 6.7 Storm Water Management

Stormwater management treatment facilities will be located in upland areas outside of the jurisdictional wetlands on the project site. Spreader swales will be used to disperse storm water into wetlands and water bodies, limiting discharge velocities.

Shoreline banks created along on-site storm water ponds greater than 5 acres in area shall include littoral zones with slopes no steeper than a 5:1 horizontal to vertical ratio and shall be planted in, or allowed to be colonized by, native emergent and submergent vegetation excluding cattails. The applicant shall ensure, by replanting if necessary, that at least 80 percent cover by native aquatic vegetation is established within the littoral zone (to include at minimum the area between ordinary high water and ordinary low water) for the duration of the project.

Reverse swales/berms will be constructed adjacent to the existing citrus grove irrigation canals to prevent untreated storm water runoff into the canals from proposed development in upland areas.

The owner/CDD shall establish and implement an inspection and maintenance program for all components of the surface water management system for the project site to include:

- Storm water facility operating inspections on a regular basis.
- Routine maintenance activities.
- Proper management, maintenance and procedures training for ground keeping and maintenance staff dealing with the described swale system. The training would include purpose and functions, acceptable maintenance/management methods and the prevention of fertilizer, pesticide and herbicide applications.
- Ensure the swale system is being properly maintained by conducting annual inspections.

Compensatory storage sites shall be located near (above or below) the 100-year flood limit in order to provide for effective storage volume within the floodplain.

## **6.8 Master Signage**

Signage shall adhere to the standards as specified in the Harmony Master Signage Comprehensive Development Plan (CDP09-0001) and hereby incorporated into this PD as Exhibit L in Section 8 as approved by the Osceola County Board of County Commissioners.

## **6.9 Gas Distribution Pipe Line Easement**

An existing gas transmission easement transects the Harmony PD from the northwest to the southeast generally paralleling US 192.

The following minimum restrictions apply to any activity within this existing gas pipeline easement:

- No residential structures are allowed within the easement.
- Road and utility crossings of the easement are allowed only following written approval from the gas company.
- Roads and utilities are not permitted to run within the easement except for crossings as described above.
- Gas company representatives must be notified in writing a minimum of one week prior to the start of approved construction activity.
- No earthwork operations are permitted within the easements without written approval from the gas company.
- No fences or signs are allowed without prior written authorization from the gas company.

## 7.0 Waivers from Osceola County Land Development Code

The Harmony PD will provide many opportunities for its residence and visitors. With the wide range of mixed uses that are proposed, density variations across the entire site and the Traditional Neighborhood Development design theme driving the overall creation of the project, unique design opportunities will arise during the design development process. Additional waivers or variances from the Osceola County Land Development Code may be requested during the Preliminary Subdivision (PS) or Site Development Plan (SDP) process.

Safe sight distances at intersections shall be confirmed as part of the Preliminary Subdivision (PS) review process or Site Development Plan (SDP) process.



## 8.0 Exhibits

Exhibit A	Legal Description and Parcel Identification Numbers
Exhibit B	Site Aerial
Exhibit C	Site Location Map
Exhibit D	PD Master Development Plan
Exhibit E	Harmony PD Permitted Uses Table
Exhibit F	Development Standards Table
Exhibit G	Sandhill Crane Management Plan
Exhibit H-1 and H-2	Regionally Significant Wetlands
Exhibit I	Sign CDP09-0001
Exhibit J Exhibit 2	Water Quality Sampling Maintenance and Storage Facility Site Plan and Boundary Survey

**Harmony  
Planned Development Amendment**

**Exhibit A  
*Legal Description and Parcel Identification  
Numbers***

**LEGAL DESCRIPTION:**

A parcel of land lying in Osceola County, Florida, being more particularly described as follows: Commence at the Southwest corner of Section 30, T 26 S, R 32 E, thence  $N00^{\circ}27'29''W$ , along the west line of said Section 30, a distance of 2,192.65 Feet to the POINT OF BEGINNING; thence  $N60^{\circ}13'25''W$ , a distance of 1,003.57 Feet to a point of curve to the right having a radius of 3,786.83 Feet, a central angle of  $23^{\circ}56'09''$ , and a chord bearing of  $N48^{\circ}15'21''W$ , 1,570.50 Feet; thence northwesterly along the arc a distance of 1,581.98 Feet; thence  $N00^{\circ}19'32''W$ , a distance of 277.80 Feet; thence  $S89^{\circ}22'31''W$ , a distance of 182.90 Feet to the point of curve of a non tangent curve to the right, of which the radius point lies  $N58^{\circ}44'03''E$ , a radial distance of 3,786.83 Feet and having a chord bearing of  $N30^{\circ}02'57''W$ , 160.81 Feet; thence northwesterly along the arc, through a central angle of  $02^{\circ}26'00''$ , a distance of 160.83 Feet; thence  $N28^{\circ}49'57''W$ , a distance of 7,398.31 Feet; thence  $S89^{\circ}45'19''E$ , a distance of 2,609.43 Feet; thence  $S89^{\circ}58'05''E$ , a distance of 2,212.60 Feet; thence  $N18^{\circ}03'47''E$ , a distance of 925.56 Feet; thence  $S64^{\circ}27'08''E$ , a distance of 165.00 Feet; thence  $N17^{\circ}11'47''E$ , a distance of 814.28 Feet; thence  $S76^{\circ}34'49''E$ , a distance of 313.42 Feet; thence  $N00^{\circ}41'03''W$ , a distance of 1,944.02 Feet; thence  $N82^{\circ}35'33''E$ , a distance of 3,682.44 Feet to a point of curve to the right having a radius of 1,382.69 Feet, a central angle of  $16^{\circ}38'09''$ , and a chord bearing of  $S89^{\circ}05'23''E$ , 400.06 Feet; thence easterly along the arc a distance of 401.46 Feet; thence  $S80^{\circ}46'18''E$ , a distance of 4,485.06 Feet to a point of curve to the right having a radius of 1,096.28 Feet, a central angle of  $50^{\circ}01'18''$ , and a chord bearing of  $S55^{\circ}45'39''E$ , 926.99 Feet; thence southeasterly along the arc a distance of 957.10 Feet; thence  $S30^{\circ}45'00''E$ , a distance of 1,044.06 Feet to a point of curve to the left having a radius of 1,196.28 Feet, a central angle of  $22^{\circ}36'48''$ , and a chord bearing of  $S42^{\circ}03'24''E$ , 469.09 Feet; thence southeasterly along the arc a distance of 472.14 Feet; thence  $S53^{\circ}21'48''E$ , a distance of 1,723.61 Feet to a point of curve to the right having a radius of 1,096.28 Feet, a central angle of  $39^{\circ}55'43''$ , and a chord bearing of  $S33^{\circ}23'57''E$ , 748.62 Feet; thence southeasterly along the arc a distance of 763.98 Feet; thence  $S13^{\circ}26'05''E$ , a distance of 5,426.28 Feet to the point of curve of a non tangent curve to the left, of which the radius point lies  $N78^{\circ}13'53''E$ , a radial distance of 1,213.39 Feet and having a chord bearing of  $S22^{\circ}33'40''E$ , 454.42 Feet; thence southeasterly along the arc, through a central angle of  $21^{\circ}35'05''$ , a distance of 457.11 Feet; thence  $S33^{\circ}17'00''E$ , a distance of 381.03 Feet; thence  $N56^{\circ}43'00''E$ , a distance of 27.50 Feet; thence  $S33^{\circ}17'00''E$ , a distance of 3,650.34 Feet to a point of curve to the left having a radius of 282.50 Feet, a central angle of  $56^{\circ}36'48''$ , and a chord bearing of  $S61^{\circ}35'24''E$ , 267.92 Feet; thence southeasterly along the arc a distance of 279.14 Feet; thence  $S89^{\circ}53'48''E$ , a distance of 2,206.16 Feet to a point of curve to the right having a radius of 462.50 Feet, a central angle of  $27^{\circ}47'27''$ , and a chord bearing of  $S76^{\circ}00'05''E$ , 222.14 Feet; thence easterly along the arc a distance of 224.33 Feet; thence  $S62^{\circ}06'21''E$ , a distance of 2,402.19 Feet to a point of curve to the left having a radius of 572.50 Feet, a central angle of  $27^{\circ}43'36''$ , and a chord bearing of  $S75^{\circ}58'09''E$ , 274.35 Feet; thence easterly along the arc a distance of 277.05 Feet; thence  $S89^{\circ}49'57''E$ , a distance of 5,537.03 Feet to a point of curve to the left having a radius of 397.50 Feet, a central angle of  $19^{\circ}22'12''$ , and a chord bearing of  $N80^{\circ}28'57''E$ , 133.74 Feet; thence easterly along the arc a distance of 134.38 Feet; thence  $S89^{\circ}49'57''E$ , a distance of 481.39 Feet; thence  $S00^{\circ}03'26''E$ , a distance of 14,533.38 Feet; thence  $N89^{\circ}36'08''W$ , a distance of 1,418.74 Feet; thence  $S00^{\circ}00'12''W$ , a distance of 1,284.96 Feet; thence  $N89^{\circ}51'00''W$ , a distance of 1,085.35 Feet; thence  $N00^{\circ}08'13''E$ , a distance of

417.86 Feet; thence N70°13'51"W, a distance of 199.98 Feet; thence N71°26'32"W, a distance of 269.00 Feet; thence N51°15'11"W, a distance of 36.60 Feet; thence N26°33'27"W, a distance of 45.19 Feet; thence N13°52'42"W, a distance of 150.22 Feet; thence N04°18'52"W, a distance of 79.24 Feet; thence N89°51'47"W, a distance of 540.00 Feet; thence S00°08'13"W, a distance of 787.55 Feet to the point of curve of a non tangent curve to the right, of which the radius point lies N09°09'20"E, a radial distance of 5,696.65 Feet and having a chord bearing of N72°41'05"W, 1,617.09 Feet; thence westerly along the arc, through a central angle of 16°19'10", a distance of 1,622.57 Feet; thence N64°31'30"W, a distance of 2,436.17 Feet to a point of curve to the right having a radius of 11,426.19 Feet, a central angle of 15°03'01", and a chord bearing of N57°00'00"W, 2,992.77 Feet; thence northwesterly along the arc a distance of 3,001.40 Feet; thence N49°28'29"W, a distance of 1,106.50 Feet; thence N00°27'50"W, a distance of 1,439.73 Feet; thence S89°00'36"W, a distance of 1,639.61 Feet; thence N49°28'29"W, a distance of 1,543.76 Feet; thence continue northwesterly along said line, a distance of 3,434.00 Feet to a point of curve to the right having a radius of 5,696.65 Feet, a central angle of 22°24'09", and a chord bearing of N38°16'25"W, 2,213.21 Feet; thence northwesterly along the arc a distance of 2,227.38 Feet; thence N27°04'20"W, a distance of 2,124.18 Feet to a point of curve to the left having a radius of 5,762.65 Feet, a central angle of 33°09'05", and a chord bearing of N43°38'53"W, 3,287.96 Feet; thence northwesterly along the arc a distance of 3,334.27 Feet; thence N60°13'25"W, a distance of 6,866.30 Feet to the POINT OF BEGINNING.

Containing 9,962.75 Acres, more or less.

**TOGETHER WITH THE FOLLOWING DESCRIBED PARCEL:**

A parcel of land lying in Osceola County, Florida, being more particularly described as follows: Beginning at a point, said point being the Southeast corner of Section 6, Township 27 South, Range 32 East, Osceola County, Florida, thence S89°59'39"W, along the south line of said Section 6, a distance of 4,097.10 Feet; thence N00°06'24"W, a distance of 5,317.28 Feet; thence N00°26'12"W, a distance of 2,554.89 Feet; thence S89°56'32"W, a distance of 599.14 Feet; thence N00°28'44"W, a distance of 2,639.78 Feet; thence N00°27'17"W, a distance of 1,752.79 Feet; thence S60°13'25"E, a distance of 5,413.28 Feet; thence S00°44'15"E, a distance of 4,258.53 Feet; thence S00°05'19"E, a distance of 5,317.00 Feet to the POINT OF BEGINNING.

Containing 1,067.59 Acres, more or less.

**Harmony  
Planned Development Amendment**

**Parcel Identification**

**TABLE 1.  
HARMONY PD PARCELS WITHIN RECORDED PLATS**

**SUB BIRCHWOOD NBHD B&C**

**30263226120001SUBD**

**2612 \*SUB**

30263226120001SUBD	2612 *SUB
30263226120001B001	UNKNOWN
30263226120001B002	7025 FIVE OAKS DR
30263226120001B002	7025 FIVE OAKS DR
30263226120001B003	7023 FIVE OAKS DR
30263226120001B003	7023 FIVE OAKS DR
30263226120001B004	7021 FIVE OAKS DR
30263226120001B004	7021 FIVE OAKS DR
30263226120001B005	7019 FIVE OAKS DR
30263226120001B005	7019 FIVE OAKS DR
30263226120001B006	7017 FIVE OAKS DR
30263226120001B006	7017 FIVE OAKS DR
30263226120001B007	7015 FIVE OAKS DR
30263226120001B008	7013 FIVE OAKS DR
30263226120001B008	7013 FIVE OAKS DR
30263226120001B009	7011 FIVE OAKS DR
30263226120001B009	7011 FIVE OAKS DR
30263226120001B010	7009 FIVE OAKS DR
30263226120001B010	7009 FIVE OAKS DR
30263226120001B011	7007 FIVE OAKS DR
30263226120001B011	7007 FIVE OAKS DR
30263226120001B012	7005 FIVE OAKS DR
30263226120001B013	7003 FIVE OAKS DR
30263226120001B013	7003 FIVE OAKS DR
30263226120001B014	7001 FIVE OAKS DR
30263226120001B015	7032 BUTTONBUSH LOOP
30263226120001B015	7032 BUTTONBUSH LOOP
30263226120001B016	7030 BUTTONBUSH LOOP
30263226120001B016	7030 BUTTONBUSH LOOP
30263226120001B017	7028 BUTTONBUSH LOOP
30263226120001B017	7028 BUTTONBUSH LOOP
30263226120001B018	7026 BUTTONBUSH LOOP
30263226120001B018	7026 BUTTONBUSH LOOP
30263226120001B019	7024 BUTTONBUSH LOOP
30263226120001B020	7022 BUTTONBUSH LOOP
30263226120001B020	7022 BUTTONBUSH LOOP
30263226120001B021	7020 BUTTONBUSH LOOP
30263226120001B022	7012 BUTTONBUSH LOOP
30263226120001B022	7012 BUTTONBUSH LOOP
30263226120001B023	7010 BUTTONBUSH LOOP
30263226120001B023	7010 BUTTONBUSH LOOP
30263226120001B024	7008 BUTTONBUSH LOOP
30263226120001B025	7006 BUTTONBUSH LOOP
30263226120001B026	7004 BUTTONBUSH LOOP
30263226120001B027	7002 BUTTONBUSH LOOP
30263226120001B027	7002 BUTTONBUSH LOOP
30263226120001B028	3376 CAT BRIER TRL
30263226120001B028	3376 CAT BRIER TRL
30263226120001B029	3374 CAT BRIER TRL

## TABLE 1. HARMONY PD PARCELS WITHIN RECORDED PLATS

30263226120001B029	3374 CAT BRIER TRL
30263226120001B030	3372 CAT BRIER TRL
30263226120001B030	3372 CAT BRIER TRL
30263226120001B031	3370 CAT BRIER TRL
30263226120001B032	3368 CAT BRIER TRL
30263226120001B032	3368 CAT BRIER TRL
30263226120001B032	3368 CAT BRIER TRL
30263226120001B032	3368 CAT BRIER TRL
30263226120001B033	3366 CAT BRIER TRL
30263226120001B033	3366 CAT BRIER TRL
30263226120001B034	3364 CAT BRIER TRL
30263226120001B035	3362 CAT BRIER TRL
30263226120001B035	3362 CAT BRIER TRL
30263226120001B036	3360 CAT BRIER TRL
30263226120001B037	3358 CAT BRIER TRL
30263226120001B037	3358 CAT BRIER TRL
30263226120001B038	3356 CAT BRIER TRL
30263226120001B038	3356 CAT BRIER TRL
30263226120001B039	3354 CAT BRIER TRL
30263226120001B039	3354 CAT BRIER TRL
30263226120001B040	3352 CAT BRIER TRL
30263226120001B040	3352 CAT BRIER TRL
30263226120001B041	CAT BRIER TRL
30263226120001B042	3348 CAT BRIER TRL
30263226120001B042	3348 CAT BRIER TRL
30263226120001B043	3346 CAT BRIER TRL
30263226120001B044	3344 CAT BRIER TRL
30263226120001B045	3342 CAT BRIER TRL
30263226120001B046	3303 BRACKEN FERN DR
30263226120001B046	3303 BRACKEN FERN DR
30263226120001B047	3305 BRACKEN FERN DR
30263226120001B047	3305 BRACKEN FERN DR
30263226120001B048	3307 BRACKEN FERN DR
30263226120001B049	3309 BRACKEN FERN DR
30263226120001B050	3311 BRACKEN FERN DR
30263226120001B050	3311 BRACKEN FERN DR
30263226120001B051	3313 BRACKEN FERN DR
30263226120001B052	3315 BRACKEN FERN DR
30263226120001B052	3315 BRACKEN FERN DR
30263226120001B053	3317 BRACKEN FERN DR
30263226120001B053	3317 BRACKEN FERN DR
30263226120001B054	3321 BRACKEN FERN DR
30263226120001B054	3321 BRACKEN FERN DR
30263226120001B055	3323 BRACKEN FERN DR
30263226120001B056	3325 BRACKEN FERN DR
30263226120001B057	3327 BRACKEN FERN DR
30263226120001B057	3327 BRACKEN FERN DR
30263226120001B058	3329 BRACKEN FERN DR
30263226120001B058	3329 BRACKEN FERN DR
30263226120001B059	3331 BRACKEN FERN DR
30263226120001B059	3331 BRACKEN FERN DR
30263226120001B060	3333 BRACKEN FERN DR

## TABLE 1. HARMONY PD PARCELS WITHIN RECORDED PLATS

30263226120001B060	3333 BRACKEN FERN DR
30263226120001B061	3335 BRACKEN FERN DR
30263226120001B061	3335 BRACKEN FERN DR
30263226120001B062	3337 BRACKEN FERN DR
30263226120001B062	3337 BRACKEN FERN DR
30263226120001B063	3339 BRACKEN FERN DR
30263226120001B064	3341 BRACKEN FERN DR
30263226120001B064	3341 BRACKEN FERN DR
30263226120001B065	3343 BRACKEN FERN DR
30263226120001B066	3345 BRACKEN FERN DR
30263226120001B066	3345 BRACKEN FERN DR
30263226120001B067	7011 BUTTONBUSH LOOP
30263226120001B067	7011 BUTTONBUSH LOOP
30263226120001B068	7013 BUTTONBUSH LOOP
30263226120001B068	7013 BUTTONBUSH LOOP
30263226120001B069	7015 BUTTONBUSH LOOP
30263226120001B069	7015 BUTTONBUSH LOOP
30263226120001B070	7017 BUTTONBUSH LOOP
30263226120001B070	7017 BUTTONBUSH LOOP
30263226120001B071	7019 BUTTONBUSH LOOP
30263226120001B071	7019 BUTTONBUSH LOOP
30263226120001B072	7021 BUTTONBUSH LOOP
30263226120001B072	7021 BUTTONBUSH LOOP
30263226120001B073	7023 BUTTONBUSH LOOP
30263226120001B074	7025 BUTTONBUSH LOOP
30263226120001B075	7027 BUTTONBUSH LOOP
30263226120001B076	7029 BUTTONBUSH LOOP
30263226120001B077	7039 BUTTONBUSH LOOP
30263226120001B078	7041 BUTTONBUSH LOOP
30263226120001B078	7041 BUTTONBUSH LOOP
30263226120001B079	7043 BUTTONBUSH LOOP
30263226120001B080	7045 BUTTONBUSH LOOP
30263226120001B080	7045 BUTTONBUSH LOOP
30263226120001B081	7047 BUTTONBUSH LOOP
30263226120001B081	7047 BUTTONBUSH LOOP
30263226120001B082	3336 BRACKEN FERN DR
30263226120001B082	3336 BRACKEN FERN DR
30263226120001B083	3334 BRACKEN FERN DR
30263226120001B084	3332 BRACKEN FERN DR
30263226120001B084	3332 BRACKEN FERN DR
30263226120001B085	3330 BRACKEN FERN DR
30263226120001B085	3330 BRACKEN FERN DR
30263226120001B086	7036 BUTTONBUSH LOOP
30263226120001B086	7036 BUTTONBUSH LOOP
30263226120001B087	7038 BUTTONBUSH LOOP
30263226120001B087	7038 BUTTONBUSH LOOP
30263226120001B088	7040 BUTTONBUSH LOOP
30263226120001B088	7040 BUTTONBUSH LOOP
30263226120001B089	7042 BUTTONBUSH LOOP
30263226120001B090	7044 BUTTONBUSH LOOP
30263226120001B090	7044 BUTTONBUSH LOOP
30263226120001B091	7046 BUTTONBUSH LOOP



**TABLE 1.  
HARMONY PD PARCELS WITHIN RECORDED PLATS**

30263226120001B092	7048 BUTTONBUSH LOOP
30263226120001B093	7050 BUTTONBUSH LOOP
30263226120001B093	7050 BUTTONBUSH LOOP
30263226120001B094	3324 BRACKEN FERN DR
30263226120001B094	3324 BRACKEN FERN DR
30263226120001B095	3322 BRACKEN FERN DR
30263226120001B095	3322 BRACKEN FERN DR
30263226120001B096	3320 BRACKEN FERN DR
30263226120001B096	3320 BRACKEN FERN DR
30263226120001B097	3318 BRACKEN FERN DR
30263226120001B097	3318 BRACKEN FERN DR
30263226120001B098	3316 BRACKEN FERN DR
30263226120001B098	3316 BRACKEN FERN DR
30263226120001B098	3316 BRACKEN FERN DR
30263226120001B099	3314 BRACKEN FERN DR
30263226120001B099	3314 BRACKEN FERN DR
30263226120001B100	3312 BRACKEN FERN DR
30263226120001B100	3312 BRACKEN FERN DR
30263226120001B101	3310 BRACKEN FERN DR
30263226120001B101	3310 BRACKEN FERN DR
30263226120001B102	3308 BRACKEN FERN DR
30263226120001B103	3306 BRACKEN FERN DR
30263226120001B103	3306 BRACKEN FERN DR
30263226120001B104	3304 BRACKEN FERN DR
30263226120001B104	3304 BRACKEN FERN DR
30263226120001B105	3302 BRACKEN FERN DR
30263226120001B105	3302 BRACKEN FERN DR
30263226120001B106	3300 BRACKEN FERN DR
30263226120001B106	3300 BRACKEN FERN DR
30263226120001C001	3338 CAT BRIER TRL
30263226120001C001	3338 CAT BRIER TRL
30263226120001C002	3336 CAT BRIER TRL
30263226120001C002	3336 CAT BRIER TRL
30263226120001C003	3334 CAT BRIER TRL
30263226120001C003	3334 CAT BRIER TRL
30263226120001C004	3332 CAT BRIER TRL
30263226120001C004	3332 CAT BRIER TRL
30263226120001C005	3330 CAT BRIER TRL
30263226120001C005	3330 CAT BRIER TRL
30263226120001C006	3328 CAT BRIER TRL
30263226120001C006	3328 CAT BRIER TRL
30263226120001C007	3326 CAT BRIER TRL
30263226120001C007	3326 CAT BRIER TRL
30263226120001C007	3326 CAT BRIER TRL
30263226120001C008	3324 CAT BRIER TRL
30263226120001C008	3324 CAT BRIER TRL
30263226120001C009	3322 CAT BRIER TRL
30263226120001C009	3322 CAT BRIER TRL
30263226120001C010	3320 CAT BRIER TRL
30263226120001C011	3318 CAT BRIER TRL
30263226120001C011	3318 CAT BRIER TRL
30263226120001C012	3316 CAT BRIER TRL

**TABLE 1.  
HARMONY PD PARCELS WITHIN RECORDED PLATS**

30263226120001C012	3316 CAT BRIER TRL
30263226120001C013	3314 CAT BRIER TRL
30263226120001C014	3312 CAT BRIER TRL
30263226120001C014	3312 CAT BRIER TRL
30263226120001C015	3310 CAT BRIER TRL
30263226120001C016	3308 CAT BRIER TRL
30263226120001C016	3308 CAT BRIER TRL
30263226120001C017	3306 CAT BRIER TRL
30263226120001C018	3304 CAT BRIER TRL
30263226120001C019	3302 CAT BRIER TRL
30263226120001C019	3302 CAT BRIER TRL
30263226120001C020	3301 SCHOOLHOUSE RD
30263226120001C020	3301 SCHOOLHOUSE RD
30263226120001C021	3303 SCHOOLHOUSE RD
30263226120001C021	3303 SCHOOLHOUSE RD
30263226120001C022	3305 SCHOOLHOUSE RD
30263226120001C022	3305 SCHOOLHOUSE RD
30263226120001C023	3303 PRIMROSE WILLOW DR
30263226120001C023	3303 PRIMROSE WILLOW DR
30263226120001C024	3305 PRIMROSE WILLOW DR
30263226120001C024	3305 PRIMROSE WILLOW DR
30263226120001C025	3307 PRIMROSE WILLOW DR
30263226120001C025	3307 PRIMROSE WILLOW DR
30263226120001C026	3309 PRIMROSE WILLOW DR
30263226120001C026	3309 PRIMROSE WILLOW DR
30263226120001C027	3311 PRIMROSE WILLOW DR
30263226120001C028	3313 PRIMROSE WILLOW DR
30263226120001C028	3313 PRIMROSE WILLOW DR
30263226120001C029	3315 PRIMROSE WILLOW DR
30263226120001C029	3315 PRIMROSE WILLOW DR
30263226120001C030	3319 PRIMROSE WILLOW DR
30263226120001C031	3321 PRIMROSE WILLOW DR
30263226120001C031	3321 PRIMROSE WILLOW DR
30263226120001C031	3321 PRIMROSE WILLOW DR
30263226120001C032	3323 PRIMROSE WILLOW DR
30263226120001C032	3323 PRIMROSE WILLOW DR
30263226120001C033	3325 PRIMROSE WILLOW DR
30263226120001C034	3327 PRIMROSE WILLOW DR
30263226120001C034	3327 PRIMROSE WILLOW DR
30263226120001C035	3329 PRIMROSE WILLOW DR
30263226120001C036	3331 PRIMROSE WILLOW DR
30263226120001C036	3331 PRIMROSE WILLOW DR
30263226120001C037	3333 PRIMROSE WILLOW DR
30263226120001C038	3335 PRIMROSE WILLOW DR
30263226120001C039	3337 PRIMROSE WILLOW DR
30263226120001C039	3337 PRIMROSE WILLOW DR
30263226120001C040	3339 PRIMROSE WILLOW DR
30263226120001C041	3341 PRIMROSE WILLOW DR
30263226120001C041	3341 PRIMROSE WILLOW DR
30263226120001C042	3343 PRIMROSE WILLOW DR
30263226120001C043	3345 PRIMROSE WILLOW DR
30263226120001C043	3345 PRIMROSE WILLOW DR

## TABLE 1. HARMONY PD PARCELS WITHIN RECORDED PLATS

30263226120001C044	3347 PRIMROSE WILLOW DR
30263226120001C044	3347 PRIMROSE WILLOW DR
30263226120001C045	3349 PRIMROSE WILLOW DR
30263226120001C046	3348 PRIMROSE WILLOW DR
30263226120001C046	3348 PRIMROSE WILLOW DR
30263226120001C047	3346 PRIMROSE WILLOW DR
30263226120001C047	3346 PRIMROSE WILLOW DR
30263226120001C048	3344 PRIMROSE WILLOW DR
30263226120001C048	3344 PRIMROSE WILLOW DR
30263226120001C049	3342 PRIMROSE WILLOW DR
30263226120001C049	3342 PRIMROSE WILLOW DR
30263226120001C050	3338 PRIMROSE WILLOW DR
30263226120001C050	3338 PRIMROSE WILLOW DR
30263226120001C051	7010 BLUESTEM RD
30263226120001C052	7006 BLUESTEM RD
30263226120001C052	7006 BLUESTEM RD
30263226120001C053	7004 BLUESTEM RD
30263226120001C053	7004 BLUESTEM RD
30263226120001C054	7002 BLUESTEM RD
30263226120001C054	7002 BLUESTEM RD
30263226120001C055	7000 BLUESTEM RD
30263226120001C056	7015 BLUESTEM RD
30263226120001C056	7015 BLUESTEM RD
30263226120001C057	7013 BLUESTEM RD
30263226120001C058	7011 BLUESTEM RD
30263226120001C058	7011 BLUESTEM RD
30263226120001C059	7009 BLUESTEM RD
30263226120001C059	7009 BLUESTEM RD
30263226120001C060	7007 BLUESTEM RD
30263226120001C060	7007 BLUESTEM RD
30263226120001C061	3325 POND PINE RD
30263226120001C061	3325 POND PINE RD
30263226120001C062	3323 POND PINE RD
30263226120001C063	3321 POND PINE RD
30263226120001C064	3319 POND PINE RD
30263226120001C065	3317 POND PINE RD
30263226120001C065	3317 POND PINE RD
30263226120001C066	3315 POND PINE RD
30263226120001C067	7002 CUPSEED LN
30263226120001C067	7002 CUPSEED LN
30263226120001C068	7004 CUPSEED LN
30263226120001C068	7004 CUPSEED LN
30263226120001C069	7006 CUPSEED LN
30263226120001C069	7006 CUPSEED LN
30263226120001C070	7008 CUPSEED LN
30263226120001C071	7010 CUPSEED LN
30263226120001C072	7012 CUPSEED LN
30263226120001C073	7014 CUPSEED LN
30263226120001C073	7014 CUPSEED LN
30263226120001C074	7017 CUPSEED LN
30263226120001C074	7017 CUPSEED LN
30263226120001C074	7017 CUPSEED LN

## TABLE 1. HARMONY PD PARCELS WITHIN RECORDED PLATS

30263226120001C075	7015 CUPSEED LN
30263226120001C076	7013 CUPSEED LN
30263226120001C077	7011 CUPSEED LN
30263226120001C078	7009 CUPSEED LN
30263226120001C079	7007 CUPSEED LN
30263226120001C079	7007 CUPSEED LN
30263226120001C080	7005 CUPSEED LN
30263226120001C081	7003 CUPSEED LN
30263226120001C081	7003 CUPSEED LN
30263226120001C082	3313 POND PINE RD
30263226120001C082	3313 POND PINE RD
30263226120001C083	3311 POND PINE RD
30263226120001C083	3311 POND PINE RD
30263226120001C084	3309 POND PINE RD
30263226120001C084	3309 POND PINE RD
30263226120001C085	3307 POND PINE RD
30263226120001C085	3307 POND PINE RD
30263226120001C086	3305 POND PINE RD
30263226120001C087	7004 BEARGRASS RD
30263226120001C087	7004 BEARGRASS RD
30263226120001C088	7006 BEARGRASS RD
30263226120001C089	7010 BEARGRASS RD
30263226120001C089	7010 BEARGRASS RD
30263226120001C090	7012 BEARGRASS RD
30263226120001C090	7012 BEARGRASS RD
30263226120001C090	7012 BEARGRASS RD
30263226120001C090	7012 BEARGRASS RD
30263226120001C091	7014 BEARGRASS RD
30263226120001C093	7018 BEARGRASS RD
30263226120001C093	7018 BEARGRASS RD
30263226120001C094	7022 BEARGRASS RD
30263226120001C094	7022 BEARGRASS RD
30263226120001C095	7023 BEARGRASS RD
30263226120001C095	7023 BEARGRASS RD
30263226120001C096	7021 BEARGRASS RD
30263226120001C096	7021 BEARGRASS RD
30263226120001C097	7019 BEARGRASS RD
30263226120001C098	7017 BEARGRASS RD
30263226120001C098	7017 BEARGRASS RD
30263226120001C099	7015 BEARGRASS RD
30263226120001C099	7015 BEARGRASS RD
30263226120001C100	7013 BEARGRASS RD
30263226120001C101	7011 BEARGRASS RD
30263226120001C101	7011 BEARGRASS RD
30263226120001C102	7009 BEARGRASS RD
30263226120001C102	7009 BEARGRASS RD
30263226120001C103	7007 BEARGRASS RD
30263226120001C103	7007 BEARGRASS RD
30263226120001C104	7005 BEARGRASS RD
30263226120001C104	7005 BEARGRASS RD
30263226120001C105	7003 BEARGRASS RD
30263226120001C105	7003 BEARGRASS RD

## TABLE 1. HARMONY PD PARCELS WITHIN RECORDED PLATS

30263226120001C106	7001 BEARGRASS RD
30263226120001C106	7001 BEARGRASS RD
30263226120001C107	3323 SCHOOLHOUSE RD
30263226120001C108	3321 SCHOOLHOUSE RD
30263226120001C109	3319 SCHOOLHOUSE RD
30263226120001C110	3317 SCHOOLHOUSE RD
30263226120001C110	3317 SCHOOLHOUSE RD
30263226120001C111	3315 SCHOOLHOUSE RD
30263226120001C112	3313 SCHOOLHOUSE RD
30263226120001C112	3313 SCHOOLHOUSE RD
30263226120001C113	3311 SCHOOLHOUSE RD
30263226120001C113	3311 SCHOOLHOUSE RD
30263226120001C114	3309 SCHOOLHOUSE RD
30263226120001C114	3309 SCHOOLHOUSE RD
30263226120001C115	3307 SCHOOLHOUSE RD
30263226120001C116	3304 PRIMROSE WILLOW DR
30263226120001C116	3304 PRIMROSE WILLOW DR
30263226120001C117	3308 PRIMROSE WILLOW DR
3026322612000AB170	UNKNOWN
3026322612000AB180	UNKNOWN
3026322612000AB190	UNKNOWN
3026322612000AB200	UNKNOWN
3026322612000AB210	UNKNOWN
3026322612000AB210	UNKNOWN
3026322612000AB220	UNKNOWN
3026322612000AB220	UNKNOWN
3026322612000AC200	UNKNOWN
3026322612000AC210	UNKNOWN
3026322612000AC220	UNKNOWN
3026322612000AC230	UNKNOWN
3026322612000AC240	UNKNOWN
3026322612000PB040	UNKNOWN
3026322612000PB050	UNKNOWN
3026322612000PB060	UNKNOWN
3026322612000PB070	UNKNOWN
3026322612000PC080	UNKNOWN
3026322612000PC090	UNKNOWN
3026322612000PC100	UNKNOWN
3026322612000PP020	UNKNOWN
3026322612000PP020	UNKNOWN
3026322612000U0010	UNKNOWN
3026322612000U0020	UNKNOWN
302632261200LS0020	UNKNOWN
302632261200LU0010	UNKNOWN
302632261200LU0020	UNKNOWN
302632261200LU0030	UNKNOWN
302632261200LU0040	UNKNOWN
302632261200LU0050	UNKNOWN
302632261200LU0060	UNKNOWN
302632261200LU0070	UNKNOWN
302632261200LU0080	UNKNOWN
302632261200LU0090	UNKNOWN

**TABLE 1.**  
**HARMONY PD PARCELS WITHIN RECORDED PLATS**

302632261200LU0100	UNKNOWN
302632261200LU0110	UNKNOWN
302632261200LU011A	UNKNOWN
302632261200LU0130	UNKNOWN
302632261200LU015B	UNKNOWN
302632261200LU015C	UNKNOWN
302632261200LU015D	UNKNOWN
302632261200LU015E	UNKNOWN
302632261200LU015F	UNKNOWN
302632261200LU015G	UNKNOWN
302632261200LU015H	UNKNOWN
302632261200LU015I	UNKNOWN
302632261200LU015J	UNKNOWN
302632261200LU015K	UNKNOWN
302632261200LU0170	UNKNOWN
302632261200LUB010	UNKNOWN
302632261200LUB010	UNKNOWN
302632261200LUB020	UNKNOWN
302632261200LUB030	UNKNOWN
302632261200LUB040	UNKNOWN
302632261200LUB050	UNKNOWN
302632261200LUB060	UNKNOWN
302632261200LUB070	UNKNOWN
302632261200LUB080	UNKNOWN
302632261200LUB090	UNKNOWN
302632261200LUB100	UNKNOWN
302632261200LUB110	UNKNOWN
302632261200LUB120	UNKNOWN
302632261200LUB130	UNKNOWN
302632261200LUB140	UNKNOWN
302632261200LUB150	UNKNOWN
302632261200LUB160	UNKNOWN
302632261200LUB170	UNKNOWN
302632261200LUB180	UNKNOWN
302632261200LUC010	UNKNOWN
302632261200LUC010	UNKNOWN
302632261200LUC020	UNKNOWN
302632261200LUC020	UNKNOWN
302632261200LUC030	UNKNOWN
302632261200LUC030	UNKNOWN
302632261200LUC040	UNKNOWN
302632261200LUC050	UNKNOWN
302632261200LUC060	UNKNOWN
302632261200LUC070	UNKNOWN
302632261200LUC080	UNKNOWN
302632261200LUC090	UNKNOWN
302632261200LUC100	UNKNOWN
302632261200LUC110	UNKNOWN
302632261200LUC120	UNKNOWN
302632261200LUC130	UNKNOWN
302632261200LUC140	UNKNOWN
302632261200LUC150	UNKNOWN

## TABLE 1. HARMONY PD PARCELS WITHIN RECORDED PLATS

302632261200LUC160	UNKNOWN
302632261200LUC170	UNKNOWN
302632261200LUC180	UNKNOWN
302632261200LUC190	UNKNOWN
302632261200PDD010	UNKNOWN
302632261200PDD020	UNKNOWN
302632261200PDD030	UNKNOWN
302632261200TC0010	UNKNOWN
3026322612TRAC00X0	E IRLO BRONSON MEM HWY
3026322612TRAC0AE0	UNKNOWN
3026322612TRACCDSE	UNKNOWN

### SUB BIRCHWOOD NBHD C-2

<b>30263226170001SUBD</b>	<b>2617 *SUB</b>
302632261700011180	3325 SCHOOLHOUSE RD
302632261700011180	3325 SCHOOLHOUSE RD
302632261700011190	3327 SCHOOLHOUSE RD
302632261700011190	3327 SCHOOLHOUSE RD
302632261700011200	3329 SCHOOLHOUSE RD
302632261700011210	3331 SCHOOLHOUSE RD
302632261700011220	3333 SCHOOLHOUSE RD
302632261700011220	3333 SCHOOLHOUSE RD
302632261700011230	3335 SCHOOLHOUSE RD
302632261700011240	3337 SCHOOLHOUSE RD
302632261700011250	3339 SCHOOLHOUSE RD
302632261700011250	3339 SCHOOLHOUSE RD
302632261700011260	3341 SCHOOLHOUSE RD
302632261700011260	3341 SCHOOLHOUSE RD
302632261700011270	3343 SCHOOLHOUSE RD
302632261700011280	3345 SCHOOLHOUSE RD
302632261700011290	3347 SCHOOLHOUSE RD
302632261700011300	3349 SCHOOLHOUSE RD
302632261700011310	3351 SCHOOLHOUSE RD
302632261700011310	3351 SCHOOLHOUSE RD
302632261700011320	3353 SCHOOLHOUSE RD
302632261700011330	UNKNOWN
302632261700011340	6901 BEARGRASS RD
302632261700011340	6901 BEARGRASS RD
302632261700011350	6903 UNKNOWN
302632261700011350	6903 UNKNOWN
302632261700011360	6905 UNKNOWN
302632261700011370	6907 UNKNOWN
302632261700011380	6909 BEARGRASS RD
302632261700011380	6909 BEARGRASS RD
302632261700011390	6911 BEARGRASS RD
302632261700011390	6911 BEARGRASS RD
302632261700011400	6913 UNKNOWN
302632261700011400	6913 UNKNOWN
302632261700011410	6921 BEARGRASS RD
302632261700011410	6921 BEARGRASS RD
302632261700011420	6923 UNKNOWN
302632261700011430	6925 BEARGRASS RD

**TABLE 1.  
HARMONY PD PARCELS WITHIN RECORDED PLATS**

302632261700011440	6927 UNKNOWN
302632261700011440	6927 UNKNOWN
302632261700011450	6929 UNKNOWN
302632261700011470	6933 BEARGRASS RD
302632261700011470	6933 BEARGRASS RD
302632261700011480	6935 BEARGRASS RD
302632261700011480	6935 BEARGRASS RD
302632261700011490	6937 BEARGRASS RD
302632261700011500	6939 BEARGRASS RD
302632261700011500	6939 BEARGRASS RD
302632261700011510	6941 BEARGRASS RD
302632261700011510	6941 BEARGRASS RD
302632261700011520	6943 BEARGRASS RD
302632261700011530	3304 POND PINE RD
302632261700011530	3304 POND PINE RD
302632261700011540	3306 POND PINE RD
302632261700011540	3306 POND PINE RD
302632261700011550	3308 POND PINE RD
302632261700011550	3308 POND PINE RD
302632261700011560	3310 POND PINE RD
302632261700011570	3312 POND PINE RD
302632261700011580	3314 POND PINE RD
302632261700011580	3314 POND PINE RD
302632261700011590	3316 POND PINE RD
302632261700011590	3316 POND PINE RD
302632261700011600	3318 POND PINE RD
302632261700011600	3318 POND PINE RD
302632261700011610	3320 POND PINE RD
302632261700011620	3322 POND PINE RD
302632261700011620	3322 POND PINE RD
302632261700011630	3324 POND PINE RD
302632261700011640	6998 BLUESTEM RD
302632261700011640	6998 BLUESTEM RD
302632261700011650	6996 BLUESTEM RD
302632261700011660	6994 BLUESTEM RD
302632261700011660	6994 BLUESTEM RD
302632261700011670	6992 BLUESTEM RD
302632261700011670	6992 BLUESTEM RD
302632261700011680	6990 BLUESTEM RD
302632261700011680	6990 BLUESTEM RD
302632261700011690	6988 BLUESTEM RD
302632261700011690	6988 BLUESTEM RD
302632261700011700	6981 BLUESTEM RD
302632261700011700	6981 BLUESTEM RD
302632261700011710	6979 BLUESTEM RD
302632261700011710	6979 BLUESTEM RD
302632261700011720	6977 BLUESTEM RD
302632261700011730	6975 BLUESTEM RD
302632261700011730	6975 BLUESTEM RD
302632261700011740	6973 BLUESTEM RD
302632261700011740	6973 BLUESTEM RD
302632261700011750	6971 BLUESTEM RD



**TABLE 1.  
HARMONY PD PARCELS WITHIN RECORDED PLATS**

302632261700011750	6971 BLUESTEM RD
302632261700011760	6949 CUPSEED LN
302632261700011760	6949 CUPSEED LN
302632261700011760	6949 CUPSEED LN
302632261700011770	6947 CUPSEED LN
302632261700011780	6945 CUPSEED LN
302632261700011780	6945 CUPSEED LN
302632261700011790	6943 CUPSEED LN
302632261700011790	6943 CUPSEED LN
302632261700011790	6943 CUPSEED LN
302632261700011800	6941 CUPSEED LN
302632261700011800	6941 CUPSEED LN
302632261700011810	6939 CUPSEED LN
302632261700011820	6937 CUPSEED LN
302632261700011830	6935 CUPSEED LN
302632261700011830	6935 CUPSEED LN
302632261700011840	6933 CUPSEED LN
302632261700011840	6933 CUPSEED LN
302632261700011850	6931 CUPSEED LN
302632261700011850	6931 CUPSEED LN
302632261700011860	6929 CUPSEED LN
302632261700011860	6929 CUPSEED LN
302632261700011870	6927 CUPSEED LN
302632261700011870	6927 CUPSEED LN
302632261700011880	6925 CUPSEED LN
302632261700011880	6925 CUPSEED LN
302632261700011890	6923 CUPSEED LN
302632261700011900	6921 CUPSEED LN
302632261700011900	6921 CUPSEED LN
302632261700011910	6919 CUPSEED LN
302632261700011920	6910 BEARGRASS RD
302632261700011930	6914 BEARGRASS RD
302632261700011930	6914 BEARGRASS RD
302632261700011940	6916 BEARGRASS RD
302632261700011940	6916 BEARGRASS RD
302632261700011950	6918 BEARGRASS RD
302632261700011950	6918 BEARGRASS RD
302632261700011960	6920 BEARGRASS RD
302632261700011970	6922 BEARGRASS RD
302632261700011980	6924 BEARGRASS RD
302632261700011980	6924 BEARGRASS RD
302632261700011990	6928 BEARGRASS RD
302632261700011990	6928 BEARGRASS RD
302632261700012000	6930 BEARGRASS RD
302632261700012000	6930 BEARGRASS RD
302632261700012010	6932 BEARGRASS RD
302632261700012010	6932 BEARGRASS RD
302632261700012020	6934 BEARGRASS RD
302632261700012020	6934 BEARGRASS RD
302632261700012030	6936 BEARGRASS RD
302632261700012030	6936 BEARGRASS RD
302632261700012040	6938 BEARGRASS RD

**TABLE 1.  
HARMONY PD PARCELS WITHIN RECORDED PLATS**

302632261700012040	6938 BEARGRASS RD
3026322617000A00N0	UNKNOWN
3026322617000A00O0	UNKNOWN
3026322617000A00P0	UNKNOWN
3026322617000A00Q0	UNKNOWN
3026322617000P00K0	UNKNOWN
302632261700LU00A0	UNKNOWN
302632261700LU00B0	UNKNOWN
302632261700LU00C0	UNKNOWN
302632261700LU00D0	UNKNOWN
302632261700LU00E0	UNKNOWN
302632261700LU00F0	UNKNOWN
302632261700LU00G0	UNKNOWN
302632261700LU00H0	UNKNOWN
302632261700LU00I0	UNKNOWN
302632261700LU00J0	UNKNOWN
302632261700LU00R0	UNKNOWN

**SUB HARMONY NEIGHBORHOODS G-H-F**

<b>30263229890001SUBD</b>	<b>2989 *SUB</b>
30263229890001001G	6800 BUTTERFLY DR
30263229890001002G	6802 BUTTERFLY DR
30263229890001003G	6804 BUTTERFLY DR
30263229890001004G	6806 BUTTERFLY DR
30263229890001005G	6808 BUTTERFLY DR
30263229890001006G	6810 BUTTERFLY DR
30263229890001007G	6812 BUTTERFLY DR
30263229890001008G	6814 BUTTERFLY DR
30263229890001009G	6816 BUTTERFLY DR
3026322989000100F0	SCHOOLHOUSE RD
3026322989000100S0	3365 SCHOOLHOUSE RD
30263229890001010G	6818 UNKNOWN
30263229890001011G	6820 UNKNOWN
30263229890001012G	6822 BUTTERFLY DR
30263229890001013G	6824 BUTTERFLY DR
30263229890001014G	6826 BUTTERFLY DR
30263229890001015G	6828 BUTTERFLY DR
30263229890001016G	UNKNOWN
30263229890001017G	UNKNOWN
30263229890001018G	6834 BUTTERFLY DR
30263229890001019G	6836 BUTTERFLY DR
30263229890001020G	6838 BUTTERFLY DR
30263229890001021G	6840 BUTTERFLY DR
30263229890001022G	6842 BUTTERFLY DR
30263229890001023G	6844 BUTTERFLY DR
30263229890001024G	6846 BUTTERFLY DR
30263229890001025G	6848 BUTTERFLY DR
30263229890001026G	6850 BUTTERFLY DR
30263229890001027G	6852 BUTTERFLY DR
30263229890001028G	UNKNOWN
30263229890001029G	6855 SUNDROP ST
30263229890001030G	6853 SUNDROP ST

## TABLE 1. HARMONY PD PARCELS WITHIN RECORDED PLATS

30263229890001031G	6851 SUNDROP ST
30263229890001032G	6849 SUNDROP ST
30263229890001033G	6847 SUNDROP ST
30263229890001034G	6845 SUNDROP ST
30263229890001035G	6843 SUNDROP ST
30263229890001036G	6841 SUNDROP ST
30263229890001037G	6839 SUNDROP ST
30263229890001038G	6837 SUNDROP ST
30263229890001039G	6835 SUNDROP ST
30263229890001040G	6833 SUNDROP ST
30263229890001041G	6831 SUNDROP ST
30263229890001042G	6829 SUNDROP ST
30263229890001043G	6827 SUNDROP ST
30263229890001043G	6827 SUNDROP ST
30263229890001044G	6825 SUNDROP ST
30263229890001045G	6823 SUNDROP ST
30263229890001046G	6821 SUNDROP ST
30263229890001047G	6819 SUNDROP ST
30263229890001048G	6817 SUNDROP ST
30263229890001049G	6815 SUNDROP ST
30263229890001050G	6813 SUNDROP ST
30263229890001051G	6811 SUNDROP ST
30263229890001052G	6809 SUNDROP ST
30263229890001053G	6807 SUNDROP ST
30263229890001054G	6805 SUNDROP ST
30263229890001055G	6803 SUNDROP ST
30263229890001056G	6801 SUNDROP ST
30263229890001057G	3201 DARK SKY DR
30263229890001058G	3203 DARK SKY DR
30263229890001059G	3205 DARK SKY DR
30263229890001060G	3207 DARK SKY DR
30263229890001061G	3209 DARK SKY DR
30263229890001062G	3211 DARK SKY DR
30263229890001063G	3213 DARK SKY DR
30263229890001064G	3215 DARK SKY DR
30263229890001065G	3217 DARK SKY DR
30263229890001066G	3219 DARK SKY DR
30263229890001067G	3221 DARK SKY DR
30263229890001068G	3224 BAYFLOWER AVE
30263229890001068G	3224 BAYFLOWER AVE
30263229890001069G	3222 BAYFLOWER AVE
30263229890001069G	3222 BAYFLOWER AVE
30263229890001070G	3220 BAYFLOWER AVE
30263229890001070G	3220 BAYFLOWER AVE
30263229890001071G	3218 BAYFLOWER AVE
30263229890001071G	3218 BAYFLOWER AVE
30263229890001072G	3216 BAYFLOWER AVE
30263229890001073G	3214 BAYFLOWER AVE
30263229890001073G	3214 BAYFLOWER AVE
30263229890001074G	3210 BAYFLOWER AVE
30263229890001074G	3210 BAYFLOWER AVE
30263229890001075G	3208 BAYFLOWER AVE

## TABLE 1. HARMONY PD PARCELS WITHIN RECORDED PLATS

30263229890001076G	3204 BAYFLOWER AVE
30263229890001077G	3202 BAYFLOWER AVE
30263229890001078G	3200 BAYFLOWER AVE
30263229890001079G	3201 BAYFLOWER AVE
30263229890001080G	3203 BAYFLOWER AVE
30263229890001081G	3205 BAYFLOWER AVE
30263229890001082G	3207 BAYFLOWER AVE
30263229890001083G	3209 BAYFLOWER AVE
30263229890001084G	3211 BAYFLOWER AVE
30263229890001085G	3213 BAYFLOWER AVE
30263229890001086G	3215 BAYFLOWER AVE
30263229890001087G	3217 BAYFLOWER AVE
30263229890001088G	3219 BAYFLOWER AVE
30263229890001089G	3221 BAYFLOWER AVE
30263229890001090G	3218 BLAZING STAR LN
30263229890001091G	3216 BLAZING STAR LN
30263229890001092G	3214 BLAZING STAR LN
30263229890001093G	3212 BLAZING STAR LN
30263229890001094G	3210 BLAZING STAR LN
30263229890001095G	3208 BLAZING STAR LN
30263229890001096G	3206 BLAZING STAR LN
30263229890001097G	3204 BLAZING STAR LN
30263229890001098G	3202 BLAZING STAR LN
30263229890001099G	3200 BLAZING STAR LN
302632298900010C10	UNKNOWN
302632298900010GA0	UNKNOWN
302632298900010H10	UNKNOWN
302632298900010H20	UNKNOWN
302632298900010L10	UNKNOWN
302632298900010L20	UNKNOWN
302632298900010LS0	UNKNOWN
302632298900010R10	UNKNOWN
30263229890001100G	6832 SUNDROP ST
30263229890001101G	6834 SUNDROP ST
30263229890001102G	6836 SUNDROP ST
30263229890001103G	6838 SUNDROP ST
30263229890001104G	6840 SUNDROP ST
30263229890001105G	6842 SUNDROP ST
30263229890001106G	6844 SUNDROP ST
30263229890001107G	6846 SUNDROP ST
30263229890001108G	6848 SUNDROP ST
30263229890001109G	6850 SUNDROP ST
30263229890001110G	6852 SUNDROP ST
30263229890001111G	6854 SUNDROP ST
30263229890001112G	6856 SUNDROP ST
30263229890001113G	6858 SUNDROP ST
30263229890001114G	6845 GOLDFLOWER AVE
30263229890001115G	6843 GOLDFLOWER AVE
30263229890001116G	6841 GOLDFLOWER AVE
30263229890001117G	6839 GOLDFLOWER AVE
30263229890001118G	6837 GOLDFLOWER AVE
30263229890001119G	6835 GOLDFLOWER AVE

## TABLE 1. HARMONY PD PARCELS WITHIN RECORDED PLATS

30263229890001120G	6833 GOLDFLOWER AVE
30263229890001121G	6831 GOLDFLOWER AVE
30263229890001122G	6829 GOLDFLOWER AVE
30263229890001123G	6827 GOLDFLOWER AVE
30263229890001124G	3223 BLAZING STAR LN
30263229890001125G	3221 BLAZING STAR LN
30263229890001126G	3219 BLAZING STAR LN
30263229890001127G	3215 BLAZING STAR LN
30263229890001128G	3211 BLAZING STAR LN
30263229890001129G	3209 BLAZING STAR LN
30263229890001130G	UNKNOWN
30263229890001131G	6815 GOLDFLOWER AVE
30263229890001132G	6817 GOLDFLOWER AVE
30263229890001133G	6819 GOLDFLOWER AVE
30263229890001134G	6821 GOLDFLOWER AVE
30263229890001135G	6800 GOLDFLOWER AVE
30263229890001136G	6802 GOLDFLOWER AVE
30263229890001137G	6804 GOLDFLOWER AVE
30263229890001138G	6806 GOLDFLOWER AVE
30263229890001139G	6808 GOLDFLOWER AVE
30263229890001140G	6810 GOLDFLOWER AVE
30263229890001141G	6812 GOLDFLOWER AVE
30263229890001142G	6814 GOLDFLOWER AVE
30263229890001143G	6816 GOLDFLOWER AVE
30263229890001144G	6818 GOLDFLOWER AVE
30263229890001145G	6820 GOLDFLOWER AVE
30263229890001146G	6824 GOLDFLOWER AVE
30263229890001147G	6826 GOLDFLOWER AVE
30263229890001148G	6830 GOLDFLOWER AVE
30263229890001149G	6834 GOLDFLOWER AVE
30263229890001150G	6838 GOLDFLOWER AVE
30263229890001151G	6842 GOLDFLOWER AVE
30263229890001152G	6870 GOLDFLOWER AVE
30263229890001153G	6874 SUNDROP ST
30263229890001154G	6876 SUNDROP ST
30263229890001155G	6878 SUNDROP ST
30263229890001156G	6880 SUNDROP ST
30263229890001157G	6882 SUNDROP ST
30263229890001157G	6882 SUNDROP ST
30263229890001158G	6886 SUNDROP ST
30263229890001159G	6888 SUNDROP ST
30263229890001160G	6890 SUNDROP ST
30263229890001161G	3450 SCHOOLHOUSE RD
30263229890001162G	3448 SCHOOLHOUSE RD
30263229890001163G	3446 SCHOOLHOUSE RD
30263229890001164G	UNKNOWN
30263229890001165G	UNKNOWN
30263229890001166G	3440 SCHOOLHOUSE RD
30263229890001167G	3438 SCHOOLHOUSE RD
30263229890001168G	3436 SCHOOLHOUSE RD
30263229890001168G	3436 SCHOOLHOUSE RD
30263229890001169G	3434 SCHOOLHOUSE RD

## TABLE 1. HARMONY PD PARCELS WITHIN RECORDED PLATS

30263229890001170G	3432 SCHOOLHOUSE RD
30263229890001171G	3430 SCHOOLHOUSE RD
30263229890001172G	3428 SCHOOLHOUSE RD
30263229890001173G	3426 SCHOOLHOUSE RD
30263229890001174G	3424 SCHOOLHOUSE RD
30263229890001175G	3422 SCHOOLHOUSE RD
30263229890001176G	3420 SCHOOLHOUSE RD
30263229890001177G	6861 SUNDROP ST
30263229890001178G	6863 SUNDROP ST
30263229890001179G	6865 SUNDROP ST
30263229890001180G	6867 SUNDROP ST
30263229890001181G	6869 SUNDROP ST
30263229890001182G	6871 SUNDROP ST
30263229890001183G	6873 SUNDROP ST
30263229890001184G	6875 SUNDROP ST
30263229890001185G	6877 SUNDROP ST
30263229890001186G	6879 SUNDROP ST
30263229890001AC01	UNKNOWN
30263229890001AC02	UNKNOWN
30263229890001AC03	UNKNOWN
30263229890001AC04	UNKNOWN
30263229890001AC05	UNKNOWN
30263229890001AC06	UNKNOWN
30263229890001AC07	UNKNOWN
30263229890001AC08	UNKNOWN
30263229890001AC09	UNKNOWN
30263229890001AC10	UNKNOWN
3026322989000P0010	UNKNOWN
3026322989000P0020	UNKNOWN
3026322989000P0030	UNKNOWN
3026322989000P0040	UNKNOWN
3026322989000P0050	UNKNOWN
3026322989000P0060	UNKNOWN
3026322989000P0070	UNKNOWN
3026322989000P0080	UNKNOWN
3026322989000P0090	UNKNOWN
3026322989000P0100	UNKNOWN
302632298900LU0010	UNKNOWN
302632298900LU0020	UNKNOWN
302632298900LU0030	UNKNOWN
302632298900LU0040	UNKNOWN
302632298900LU0050	UNKNOWN
302632298900LU0060	UNKNOWN
302632298900LU0070	UNKNOWN
302632298900LU0080	UNKNOWN
302632298900LU0090	UNKNOWN
302632298900LU0100	UNKNOWN
302632298900LU0110	UNKNOWN
302632298900LU0120	UNKNOWN
302632298900LU0130	UNKNOWN
302632298900LU0140	UNKNOWN
302632298900LU0150	UNKNOWN

**TABLE 1.  
HARMONY PD PARCELS WITHIN RECORDED PLATS**

302632298900LU0160	UNKNOWN
302632298900LU0170	UNKNOWN
302632298900LU0180	UNKNOWN
302632298900LU0190	UNKNOWN
302632298900LU0200	UNKNOWN
302632298900LU0210	UNKNOWN
302632298900LU0220	UNKNOWN
302632298900LU0230	UNKNOWN
302632298900LU0240	UNKNOWN
302632298900LU0250	UNKNOWN
302632298900LU0260	UNKNOWN
302632298900LU0270	UNKNOWN
302632298900LU0280	UNKNOWN
302632298900LU0290	UNKNOWN
302632298900LU0300	UNKNOWN
302632298900LU0310	UNKNOWN
302632298900LU0320	UNKNOWN
302632298900LU0330	UNKNOWN
302632298900LU0340	UNKNOWN
302632298900LU0350	UNKNOWN

**SUB BIRCHWOOD NBHD D-1**

<b>30263226700001SUBD</b>	<b>2670 *SUB</b>
302632267000010010	7100 INDIANGRASS RD
302632267000010020	7102 INDIANGRASS RD
302632267000010030	7104 INDIANGRASS RD
302632267000010040	7106 INDIANGRASS RD
302632267000010040	7106 INDIANGRASS RD
302632267000010040	7106 INDIANGRASS RD
302632267000010040	7106 INDIANGRASS RD
302632267000010040	7106 INDIANGRASS RD
302632267000010040	7106 INDIANGRASS RD
302632267000010040	7106 INDIANGRASS RD
302632267000010050	7108 INDIANGRASS RD
302632267000010060	7110 INDIANGRASS RD
302632267000010060	7110 INDIANGRASS RD
302632267000010070	7112 INDIANGRASS RD
302632267000010080	7114 INDIANGRASS RD
302632267000010090	7116 INDIANGRASS RD
302632267000010100	7118 INDIANGRASS RD
302632267000010110	7120 INDIANGRASS RD
302632267000010110	7120 INDIANGRASS RD
302632267000010110	7120 INDIANGRASS RD
302632267000010120	7122 INDIANGRASS RD
302632267000010130	7124 INDIANGRASS RD
302632267000010140	7126 INDIANGRASS RD
302632267000010140	7126 INDIANGRASS RD
302632267000010150	7128 INDIANGRASS RD
302632267000010160	7130 INDIANGRASS RD
302632267000010180	7134 INDIANGRASS RD
302632267000010190	7136 INDIANGRASS RD
302632267000010190	7136 INDIANGRASS RD
302632267000010200	7102 OAK GLEN TRL

## TABLE 1. HARMONY PD PARCELS WITHIN RECORDED PLATS

302632267000010210	7100 OAK GLEN TRL
302632267000010220	3297 CAT BRIER TRL
302632267000010220	3297 CAT BRIER TRL
302632267000010220	3297 CAT BRIER TRL
302632267000010220	3297 CAT BRIER TRL
302632267000010230	3299 CAT BRIER TRL
302632267000010240	3301 CAT BRIER TRL
302632267000010240	3301 CAT BRIER TRL
302632267000010240	3301 CAT BRIER TRL
302632267000010250	3303 CAT BRIER TRL
302632267000010260	3305 CAT BRIER TRL
302632267000010270	3307 CAT BRIER TRL
302632267000010270	3307 CAT BRIER TRL
302632267000010280	3309 CAT BRIER TRL
302632267000010290	3311 CAT BRIER TRL
302632267000010300	7107 INDIANGRASS RD
302632267000010300	7107 INDIANGRASS RD
302632267000010310	7113 INDIANGRASS RD
302632267000010310	7113 INDIANGRASS RD
302632267000010320	7121 INDIANGRASS RD
302632267000010320	7121 INDIANGRASS RD
302632267000010330	7125 INDIANGRASS RD
302632267000010330	7125 INDIANGRASS RD
302632267000010330	7125 INDIANGRASS RD
302632267000010330	7125 INDIANGRASS RD
302632267000010340	7131 INDIANGRASS RD
302632267000010350	7133 INDIANGRASS RD
302632267000AC00L0	UNKNOWN
302632267000AC00M0	UNKNOWN
302632267000LU00A0	UNKNOWN
302632267000LU00B0	UNKNOWN
302632267000LU00C0	UNKNOWN
302632267000LU00D0	UNKNOWN
302632267000LU00E0	UNKNOWN
302632267000LU00F0	UNKNOWN
302632267000LU00G0	UNKNOWN
302632267000LU00H0	UNKNOWN
302632267000LU00I0	UNKNOWN
3026322670TRAC00J0	UNKNOWN
3026322670TRAC00K0	UNKNOWN
3026322670TRAC00N0	UNKNOWN
3026322670TRAC00O0	UNKNOWN

**SUB ASHLEY PK AT HARMONY**

<b>30263228770001SUBD</b>	<b>2877 *SUB</b>
<hr/>	
30263228770001001A	7100 FIVE OAKS DR
30263228770001001A	7100 FIVE OAKS DR
30263228770001001B	7102 FIVE OAKS DR
30263228770001001B	7102 FIVE OAKS DR
30263228770001001C	7104 FIVE OAKS DR
30263228770001001C	7104 FIVE OAKS DR
30263228770001001D	7106 FIVE OAKS DR



**TABLE 1.**  
**HARMONY PD PARCELS WITHIN RECORDED PLATS**

30263228770001001D	7106 FIVE OAKS DR
30263228770001001E	7108 FIVE OAKS DR
30263228770001001E	7108 FIVE OAKS DR
30263228770001001F	7110 FIVE OAKS DR
30263228770001002A	7112 FIVE OAKS DR
30263228770001002A	7112 FIVE OAKS DR
30263228770001002B	7114 FIVE OAKS DR
30263228770001002B	7114 FIVE OAKS DR
30263228770001002C	7116 FIVE OAKS DR
30263228770001002D	7118 FIVE OAKS DR
30263228770001002E	7120 FIVE OAKS DR
30263228770001002F	7122 FIVE OAKS DR
30263228770001002F	7122 FIVE OAKS DR
30263228770001003A	7124 FIVE OAKS DR
30263228770001003A	7124 FIVE OAKS DR
30263228770001003B	7126 FIVE OAKS DR
30263228770001003C	7128 FIVE OAKS DR
30263228770001003C	7128 FIVE OAKS DR
30263228770001003D	7130 FIVE OAKS DR
30263228770001004A	7132 FIVE OAKS DR
30263228770001004B	7134 FIVE OAKS DR
30263228770001004B	7134 FIVE OAKS DR
30263228770001004C	7136 FIVE OAKS DR
30263228770001004D	7138 FIVE OAKS DR
30263228770001004E	7140 FIVE OAKS DR
30263228770001004F	7142 FIVE OAKS DR
30263228770001004F	7142 FIVE OAKS DR
30263228770001005A	7144 FIVE OAKS DR
30263228770001005A	7144 FIVE OAKS DR
30263228770001005B	7146 FIVE OAKS DR
30263228770001005B	7146 FIVE OAKS DR
30263228770001005C	7148 FIVE OAKS DR
30263228770001005D	7150 FIVE OAKS DR
30263228770001005D	7150 FIVE OAKS DR
30263228770001005E	7152 FIVE OAKS DR
30263228770001005E	7152 FIVE OAKS DR
30263228770001005F	7154 FIVE OAKS DR
30263228770001005F	7154 FIVE OAKS DR
30263228770001006A	UNKNOWN
30263228770001006B	UNKNOWN
30263228770001006C	UNKNOWN
30263228770001006D	UNKNOWN
30263228770001006E	UNKNOWN
30263228770001006F	UNKNOWN
30263228770001007A	UNKNOWN
30263228770001007B	UNKNOWN
30263228770001007C	UNKNOWN
30263228770001007D	UNKNOWN
30263228770001008A	UNKNOWN
30263228770001008B	UNKNOWN
30263228770001008C	UNKNOWN
30263228770001008D	UNKNOWN

## TABLE 1. HARMONY PD PARCELS WITHIN RECORDED PLATS

30263228770001009A	UNKNOWN
30263228770001009B	UNKNOWN
30263228770001009C	UNKNOWN
30263228770001009D	UNKNOWN
3026322877000100A0	UNKNOWN
3026322877000100B0	UNKNOWN
3026322877000100C0	UNKNOWN
3026322877000100D0	UNKNOWN
3026322877000100E0	UNKNOWN
3026322877000100F0	UNKNOWN
3026322877000100G0	UNKNOWN
3026322877000100H0	UNKNOWN
3026322877000100I0	UNKNOWN
3026322877000100J0	UNKNOWN
3026322877000100K0	UNKNOWN
3026322877000100L0	UNKNOWN
3026322877000100M0	UNKNOWN
3026322877000100N0	UNKNOWN
3026322877000100O0	UNKNOWN
3026322877000100P0	7124 HARMONY SQUARE DR SOUTH
3026322877000100Q0	UNKNOWN
3026322877000100R0	UNKNOWN
3026322877000100S0	UNKNOWN
3026322877000100T0	UNKNOWN
3026322877000100U0	UNKNOWN
3026322877000100V0	UNKNOWN
3026322877000100W0	UNKNOWN
30263228770001010A	UNKNOWN
30263228770001010B	UNKNOWN
30263228770001010C	UNKNOWN
30263228770001010D	UNKNOWN
30263228770001011A	UNKNOWN
30263228770001011B	UNKNOWN
30263228770001011C	UNKNOWN
30263228770001011D	UNKNOWN
30263228770001011E	UNKNOWN
30263228770001011F	UNKNOWN
30263228770001012A	3501 CLAY BRICK RD
30263228770001012B	3503 CLAY BRICK RD
30263228770001012B	3503 CLAY BRICK RD
30263228770001012C	3505 CLAY BRICK RD
30263228770001012C	3505 CLAY BRICK RD
30263228770001012D	3507 CLAY BRICK RD
30263228770001012D	3507 CLAY BRICK RD

### SUB HARMONY NEIGHBORHOODS D-2 & E

<b>30263232920001SUBD</b>	<b>3292 *SUB</b>
<hr/>	
30263232920001001E	OAK GLEN TRL
30263232920001002E	OAK GLEN TRL
30263232920001003E	OAK GLEN TRL
30263232920001004E	OAK GLEN TRL
30263232920001005E	OAK GLEN TRL

## TABLE 1. HARMONY PD PARCELS WITHIN RECORDED PLATS

30263232920001006E	OAK GLEN TRL
30263232920001007E	OAK GLEN TRL
30263232920001008E	OAK GLEN TRL
30263232920001009E	OAK GLEN TRL
3026323292000100A0	UNKNOWN
3026323292000100B0	UNKNOWN
30263232920001010E	OAK GLEN TRL
30263232920001011E	OAK GLEN TRL
30263232920001012E	OAK GLEN TRL
30263232920001013E	OAK GLEN TRL
30263232920001014E	OAK GLEN TRL
30263232920001015E	OAK GLEN TRL
30263232920001016E	OAK GLEN TRL
30263232920001017E	OAK GLEN TRL
30263232920001018E	UNKNOWN
30263232920001019E	UNKNOWN
3026323292000101D2	UNKNOWN
30263232920001020E	SOUTHERN PINE RD
30263232920001021E	SOUTHERN PINE RD
30263232920001022E	SOUTHERN PINE RD
30263232920001023E	SOUTHERN PINE RD
30263232920001024E	SOUTHERN PINE RD
30263232920001025E	SOUTHERN PINE RD
30263232920001026E	OAK GLEN TRL
30263232920001027E	OAK GLEN TRL
30263232920001028E	OAK GLEN TRL
30263232920001029E	OAK GLEN TRL
3026323292000102D2	INDIANGRASS RD
30263232920001030E	OAK GLEN TRL
30263232920001031E	OAK GLEN TRL
30263232920001032E	OAK GLEN TRL
30263232920001033E	OAK GLEN TRL
30263232920001034E	OAK GLEN TRL
30263232920001035E	OAK GLEN TRL
30263232920001036E	OAK GLEN TRL
30263232920001037E	OAK GLEN TRL
30263232920001038E	OAK GLEN TRL
30263232920001039E	OAK GLEN TRL
3026323292000103D2	INDIANGRASS RD
30263232920001040E	OAK GLEN TRL
30263232920001041E	OAK GLEN TRL
30263232920001042E	OAK GLEN TRL
30263232920001043E	OAK GLEN TRL
30263232920001044E	OAK GLEN TRL
30263232920001045E	OAK GLEN TRL
30263232920001046E	OAK GLEN TRL
30263232920001047E	OAK GLEN TRL
30263232920001048E	OAK GLEN TRL
30263232920001049E	OAK GLEN TRL
3026323292000104D2	UNKNOWN
30263232920001050E	OAK GLEN TRL
30263232920001051E	OAK GLEN TRL

## TABLE 1. HARMONY PD PARCELS WITHIN RECORDED PLATS

3026323292000105D2	NEEDLEGRASS LN
3026323292000106D2	NEEDLEGRASS LN
3026323292000107D2	NEEDLEGRASS LN
3026323292000108D2	NEEDLEGRASS LN
3026323292000109D2	NEEDLEGRASS LN
302632329200010LS0	UNKNOWN
3026323292000110D2	NEEDLEGRASS LN
3026323292000111D2	UNKNOWN
3026323292000P0010	UNKNOWN
3026323292000P0020	UNKNOWN
3026323292000P0030	UNKNOWN
3026323292000P0040	UNKNOWN
302632329200LU0010	UNKNOWN
302632329200LU0020	UNKNOWN
302632329200LU0030	UNKNOWN
302632329200LU0040	UNKNOWN
302632329200LU0050	UNKNOWN
302632329200LU0060	UNKNOWN
302632329200LU0070	UNKNOWN

### SUB HARMONY PHASE 3

<b>30263231170001SUBD</b>	<b>3117 *SUB</b>
<hr/>	
3026323117000100K0	UNKNOWN
3026323117000100L0	UNKNOWN
3026323117000100M0	UNKNOWN
302632311700010C20	UNKNOWN
302632311700010GM0	UNKNOWN
302632311700010GM0	7370 FIVE OAKS DR
302632311700010IJ0	UNKNOWN
302632311700010LS0	UNKNOWN
302632311700010P10	UNKNOWN
3026323117000P00A0	UNKNOWN
3026323117000P00B0	UNKNOWN
3026323117000P00C0	UNKNOWN
3026323117000P00D0	UNKNOWN
3026323117000P00E0	UNKNOWN
302632311700LU0010	UNKNOWN
302632311700LU0020	UNKNOWN
302632311700LU0030	UNKNOWN
3026323117TRAC0C10	UNKNOWN
3026323117TRAC0C20	UNKNOWN
3026323117TRAC0C30	UNKNOWN
3026323117TRAC0C40	UNKNOWN

## Harmony – Neighborhood I

LOT#	PARCEL ID	PHYSICAL ADDRESS
1	292632329600010010	3300 SAGEBRUSH ST, HARMONY FL 34773
2	292632329600010020	3302 SAGEBRUSH ST, HARMONY FL 34773
3	292632329600010030	3304 SAGEBRUSH ST, HARMONY FL 34773
4	292632329600010040	3306 SAGEBRUSH ST, HARMONY FL 34773
5	292632329600010050	3308 SAGEBRUSH ST, HARMONY FL 34773
6	292632329600010060	3310 SAGEBRUSH ST, HARMONY FL 34773
7	292632329600010070	3314 SAGEBRUSH ST, HARMONY FL 34773
8	292632329600010080	3318 SAGEBRUSH ST, HARMONY FL 34773
9	292632329600010090	3322 SAGEBRUSH ST, HARMONY FL 34773
10	292632329600010100	3326 SAGEBRUSH ST, HARMONY FL 34773
11	292632329600010110	3330 SAGEBRUSH ST, HARMONY FL 34773
12	292632329600010120	3332 SAGEBRUSH ST, HARMONY FL 34773
13	292632329600010130	3334 SAGEBRUSH ST, HARMONY FL 34773
14	292632329600010140	3336 SAGEBRUSH ST, HARMONY FL 34773
15	292632329600010150	3338 SAGEBRUSH ST, HARMONY FL 34773
16	292632329600010160	3340 SAGEBRUSH ST, HARMONY FL 34773
17	292632329600010170	3342 SAGEBRUSH ST, HARMONY FL 34773
18	292632329600010180	3344 SAGEBRUSH ST, HARMONY FL 34773
19	292632329600010190	3346 SAGEBRUSH ST, HARMONY FL 34773
20	292632329600010200	3348 SAGEBRUSH ST, HARMONY FL 34773
21	292632329600010210	3350 SAGEBRUSH ST, HARMONY FL 34773
22	292632329600010220	3352 SAGEBRUSH ST, HARMONY FL 34773
23	292632329600010230	3354 SAGEBRUSH ST, HARMONY FL 34773
24	292632329600010240	3356 SAGEBRUSH ST, HARMONY FL 34773
25	292632329600010250	3358 SAGEBRUSH ST, HARMONY FL 34773
26	292632329600010260	3360 SAGEBRUSH ST, HARMONY FL 34773
27	292632329600010270	3362 SAGEBRUSH ST, HARMONY FL 34773
28	292632329600010280	3364 SAGEBRUSH ST, HARMONY FL 34773
29	292632329600010290	3366 SAGEBRUSH ST, HARMONY FL 34773
30	292632329600010300	3368 SAGEBRUSH ST, HARMONY FL 34773
31	292632329600010310	3370 SAGEBRUSH ST, HARMONY FL 34773
32	292632329600010320	3372 SAGEBRUSH ST, HARMONY FL 34773
33	292632329600010330	3374 SAGEBRUSH ST, HARMONY FL 34773
34	292632329600010340	3376 SAGEBRUSH ST, HARMONY FL 34773
35	292632329600010350	3378 SAGEBRUSH ST, HARMONY FL 34773
36	292632329600010360	3380 SAGEBRUSH ST, HARMONY FL 34773
37	292632329600010370	3382 SAGEBRUSH ST, HARMONY FL 34773
38	292632329600010380	3384 SAGEBRUSH ST, HARMONY FL 34773
39	292632329600010390	3386 SAGEBRUSH ST, HARMONY FL 34773
40	292632329600010400	3388 SAGEBRUSH ST, HARMONY FL 34773
41	292632329600010410	3390 SAGEBRUSH ST, HARMONY FL 34773
42	292632329600010420	3392 SAGEBRUSH ST, HARMONY FL 34773
43	292632329600010430	3394 SAGEBRUSH ST, HARMONY FL 34773
44	292632329600010440	3396 SAGEBRUSH ST, HARMONY FL 34773
45	292632329600010450	3398 SAGEBRUSH ST, HARMONY FL 34773

Harmony – Neighborhood I

46	292632329600010460	3400 SAGEBRUSH ST, HARMONY FL 34773
47	292632329600010470	3402 SAGEBRUSH ST, HARMONY FL 34773
48	292632329600010480	3404 SAGEBRUSH ST, HARMONY FL 34773
49	292632329600010490	3406 SAGEBRUSH ST, HARMONY FL 34773
50	292632329600010500	3408 SAGEBRUSH ST, HARMONY FL 34773
51	292632329600010510	3410 SAGEBRUSH ST, HARMONY FL 34773
52	292632329600010520	3412 SAGEBRUSH ST, HARMONY FL 34773
53	292632329600010530	3414 SAGEBRUSH ST, HARMONY FL 34773
54	292632329600010540	3416 SAGEBRUSH ST, HARMONY FL 34773
55	292632329600010550	3418 SAGEBRUSH ST, HARMONY FL 34773
56	292632329600010560	3420 SAGEBRUSH ST, HARMONY FL 34773
57	292632329600010570	3422 SAGEBRUSH ST, HARMONY FL 34773
58	292632329600010580	3424 SAGEBRUSH ST, HARMONY FL 34773
59	292632329600010590	3426 SAGEBRUSH ST, HARMONY FL 34773
60	292632329600010600	3428 SAGEBRUSH ST, HARMONY FL 34773
61	292632329600010610	3430 SAGEBRUSH ST, HARMONY FL 34773
62	292632329600010620	3432 SAGEBRUSH ST, HARMONY FL 34773
63	292632329600010630	3434 SAGEBRUSH ST, HARMONY FL 34773
64	292632329600010640	3436 SAGEBRUSH ST, HARMONY FL 34773
65	292632329600010650	3438 SAGEBRUSH ST, HARMONY FL 34773
66	292632329600010660	3440 SAGEBRUSH ST, HARMONY FL 34773
67	292632329600010670	3442 SAGEBRUSH ST, HARMONY FL 34773
68	292632329600010680	3444 SAGEBRUSH ST, HARMONY FL 34773
69	292632329600010690	3446 SAGEBRUSH ST, HARMONY FL 34773
70	292632329600010700	3448 SAGEBRUSH ST, HARMONY FL 34773
71	292632329600010710	3450 SAGEBRUSH ST, HARMONY FL 34773
72	292632329600010720	3452 SAGEBRUSH ST, HARMONY FL 34773
73	292632329600010730	3454 SAGEBRUSH ST, HARMONY FL 34773
74	292632329600010740	3456 SAGEBRUSH ST, HARMONY FL 34773
75	292632329600010750	3458 SAGEBRUSH ST, HARMONY FL 34773
76	292632329600010760	3460 SAGEBRUSH ST, HARMONY FL 34773
77	292632329600010770	3462 SAGEBRUSH ST, HARMONY FL 34773
78	292632329600010780	3464 SAGEBRUSH ST, HARMONY FL 34773
79	292632329600010790	3466 SAGEBRUSH ST, HARMONY FL 34773
80	292632329600010800	3468 SAGEBRUSH ST, HARMONY FL 34773
81	292632329600010810	3470 SAGEBRUSH ST, HARMONY FL 34773
82	292632329600010820	3472 SAGEBRUSH ST, HARMONY FL 34773
83	292632329600010830	3474 SAGEBRUSH ST, HARMONY FL 34773
84	292632329600010840	3476 SAGEBRUSH ST, HARMONY FL 34773
85	292632329600010850	3478 SAGEBRUSH ST, HARMONY FL 34773
86	292632329600010860	3480 SAGEBRUSH ST, HARMONY FL 34773
87	292632329600010870	3482 SAGEBRUSH ST, HARMONY FL 34773
88	292632329600010880	3484 SAGEBRUSH ST, HARMONY FL 34773
89	292632329600010890	3486 SAGEBRUSH ST, HARMONY FL 34773
90	292632329600010900	3488 SAGEBRUSH ST, HARMONY FL 34773
91	292632329600010910	3490 SAGEBRUSH ST, HARMONY FL 34773
92	292632329600010920	3491 SAGEBRUSH ST, HARMONY FL 34773
93	292632329600010930	3489 SAGEBRUSH ST, HARMONY FL 34773

Harmony – Neighborhood I

94	292632329600010940	3487 SAGEBRUSH ST, HARMONY FL 34773
95	292632329600010950	3485 SAGEBRUSH ST, HARMONY FL 34773
96	292632329600010960	3483 SAGEBRUSH ST, HARMONY FL 34773
97	292632329600010970	3479 SAGEBRUSH ST, HARMONY FL 34773
98	292632329600010980	3477 SAGEBRUSH ST, HARMONY FL 34773
99	292632329600010990	3475 SAGEBRUSH ST, HARMONY FL 34773
100	292632329600011000	3473 SAGEBRUSH ST, HARMONY FL 34773
101	292632329600011010	3469 SAGEBRUSH ST, HARMONY FL 34773
102	292632329600011020	3467 SAGEBRUSH ST, HARMONY FL 34773
103	292632329600011030	3465 SAGEBRUSH ST, HARMONY FL 34773
104	292632329600011040	3463 SAGEBRUSH ST, HARMONY FL 34773
105	292632329600011050	3461 SAGEBRUSH ST, HARMONY FL 34773
106	292632329600011060	3459 SAGEBRUSH ST, HARMONY FL 34773
107	292632329600011070	3447 SAGEBRUSH ST, HARMONY FL 34773
108	292632329600011080	3445 SAGEBRUSH ST, HARMONY FL 34773
109	292632329600011090	3443 SAGEBRUSH ST, HARMONY FL 34773
110	292632329600011100	3441 SAGEBRUSH ST, HARMONY FL 34773
111	292632329600011110	3439 SAGEBRUSH ST, HARMONY FL 34773
112	292632329600011120	3435 SAGEBRUSH ST, HARMONY FL 34773
113	292632329600011130	3433 SAGEBRUSH ST, HARMONY FL 34773
114	292632329600011140	3431 SAGEBRUSH ST, HARMONY FL 34773
115	292632329600011150	3427 SAGEBRUSH ST, HARMONY FL 34773
116	292632329600011160	3425 SAGEBRUSH ST, HARMONY FL 34773
117	292632329600011170	3421 SAGEBRUSH ST, HARMONY FL 34773
118	292632329600011180	3419 SAGEBRUSH ST, HARMONY FL 34773
119	292632329600011190	3417 SAGEBRUSH ST, HARMONY FL 34773
120	292632329600011200	3415 SAGEBRUSH ST, HARMONY FL 34773
121	292632329600011210	3413 SAGEBRUSH ST, HARMONY FL 34773
122	292632329600011220	3411 SAGEBRUSH ST, HARMONY FL 34773
123	292632329600011230	3409 SAGEBRUSH ST, HARMONY FL 34773
124	292632329600011240	3407 SAGEBRUSH ST, HARMONY FL 34773
125	292632329600011250	3405 SAGEBRUSH ST, HARMONY FL 34773
126	292632329600011260	3403 SAGEBRUSH ST, HARMONY FL 34773
127	292632329600011270	7457 OAKMARK RD, HARMONY FL 34773
128	292632329600011280	7455 OAKMARK RD, HARMONY FL 34773
129	292632329600011290	7453 OAKMARK RD, HARMONY FL 34773
130	292632329600011300	7451 OAKMARK RD, HARMONY FL 34773
131	292632329600011310	7450 OAKMARK RD, HARMONY FL 34773
132	292632329600011320	7452 OAKMARK RD, HARMONY FL 34773
133	292632329600011330	7454 OAKMARK RD, HARMONY FL 34773
134	292632329600011340	7456 OAKMARK RD, HARMONY FL 34773
135	292632329600011350	3399 SAGEBRUSH ST, HARMONY FL 34773
136	292632329600011360	3397 SAGEBRUSH ST, HARMONY FL 34773
137	292632329600011370	3393 SAGEBRUSH ST, HARMONY FL 34773
138	292632329600011380	3391 SAGEBRUSH ST, HARMONY FL 34773
139	292632329600011390	3389 SAGEBRUSH ST, HARMONY FL 34773
140	292632329600011400	3385 SAGEBRUSH ST, HARMONY FL 34773
141	292632329600011410	3383 SAGEBRUSH ST, HARMONY FL 34773

## Harmony – Neighborhood I

142	292632329600011420	3381 SAGEBRUSH ST, HARMONY FL 34773
143	292632329600011430	3377 SAGEBRUSH ST, HARMONY FL 34773
144	292632329600011440	3375 SAGEBRUSH ST, HARMONY FL 34773
145	292632329600011450	3373 SAGEBRUSH ST, HARMONY FL 34773
146	292632329600011460	3371 SAGEBRUSH ST, HARMONY FL 34773
147	292632329600011470	3369 SAGEBRUSH ST, HARMONY FL 34773
148	292632329600011480	3367 SAGEBRUSH ST, HARMONY FL 34773
149	292632329600011490	3365 SAGEBRUSH ST, HARMONY FL 34773
150	292632329600011500	3363 SAGEBRUSH ST, HARMONY FL 34773
151	292632329600011510	3353 SAGEBRUSH ST, HARMONY FL 34773
152	292632329600011520	3349 SAGEBRUSH ST, HARMONY FL 34773
153	292632329600011530	3347 SAGEBRUSH ST, HARMONY FL 34773
154	292632329600011540	3345 SAGEBRUSH ST, HARMONY FL 34773
155	292632329600011550	3343 SAGEBRUSH ST, HARMONY FL 34773
156	292632329600011560	3341 SAGEBRUSH ST, HARMONY FL 34773
157	292632329600011570	3339 SAGEBRUSH ST, HARMONY FL 34773
158	292632329600011580	3337 SAGEBRUSH ST, HARMONY FL 34773
159	292632329600011590	3335 SAGEBRUSH ST, HARMONY FL 34773
160	292632329600011600	3333 SAGEBRUSH ST, HARMONY FL 34773
161	292632329600011610	3331 SAGEBRUSH ST, HARMONY FL 34773
162	292632329600011620	3329 SAGEBRUSH ST, HARMONY FL 34773
163	292632329600011630	3327 SAGEBRUSH ST, HARMONY FL 34773
164	292632329600011640	3325 SAGEBRUSH ST, HARMONY FL 34773
165	292632329600011650	3323 SAGEBRUSH ST, HARMONY FL 34773
166	292632329600011660	3321 SAGEBRUSH ST, HARMONY FL 34773
167	292632329600011670	3319 SAGEBRUSH ST, HARMONY FL 34773
168	292632329600011680	3317 SAGEBRUSH ST, HARMONY FL 34773
169	292632329600011690	3315 SAGEBRUSH ST, HARMONY FL 34773
170	292632329600011700	3313 SAGEBRUSH ST, HARMONY FL 34773
171	292632329600011710	3311 SAGEBRUSH ST, HARMONY FL 34773
172	292632329600011720	3309 SAGEBRUSH ST, HARMONY FL 34773



## HARMONY PARCELS NEIGHBORHOOD H2

<b>LOT #</b>	<b>PARCEL ID</b>	<b>PHYSICAL ADDRESS</b>
1	302632329500010010	3384 CORDGRASS PL, SAINT CLOUD FL 34773
2	302632329500010020	3380 CORDGRASS PL, SAINT CLOUD FL 34773
3	302632329500010030	3376 CORDGRASS PL, SAINT CLOUD FL 34773
4	302632329500010040	3372 CORDGRASS PL, SAINT CLOUD FL 34773
5	302632329500010050	3368 CORDGRASS PL, SAINT CLOUD FL 34773
6	302632329500010060	3364 CORDGRASS PL, SAINT CLOUD FL 34773
7	302632329500010070	3360 CORDGRASS PL, SAINT CLOUD FL 34773
8	302632329500010080	3356 CORDGRASS PL, SAINT CLOUD FL 34773
9	302632329500010090	3352 CORDGRASS PL, SAINT CLOUD FL 34773
10	302632329500010100	3348 CORDGRASS PL, SAINT CLOUD FL 34773
11	302632329500010110	3344 CORDGRASS PL, SAINT CLOUD FL 34773
12	302632329500010120	3340 CORDGRASS PL, SAINT CLOUD FL 34773
13	302632329500010130	3336 CORDGRASS PL, SAINT CLOUD FL 34773
14	302632329500010140	3332 CORDGRASS PL, SAINT CLOUD FL 34773
15	302632329500010150	3328 CORDGRASS PL, SAINT CLOUD FL 34773
16	302632329500010160	3324 CORDGRASS PL, SAINT CLOUD FL 34773
17	302632329500010170	3320 CORDGRASS PL, SAINT CLOUD FL 34773
18	302632329500010180	3316 CORDGRASS PL, SAINT CLOUD FL 34773
19	302632329500010190	3312 CORDGRASS PL, SAINT CLOUD FL 34773
20	302632329500010200	3308 CORDGRASS PL, SAINT CLOUD FL 34773
21	302632329500010210	3304 CORDGRASS PL, SAINT CLOUD FL 34773
22	302632329500010220	3300 CORDGRASS PL, SAINT CLOUD FL 34773
23	302632329500010230	3327 CORDGRASS PL, SAINT CLOUD FL 34773
24	302632329500010240	3331 CORDGRASS PL, SAINT CLOUD FL 34773
25	302632329500010250	3335 CORDGRASS PL, SAINT CLOUD FL 34773
26	302632329500010260	3343 CORDGRASS PL, SAINT CLOUD FL 34773
27	302632329500010270	3347 CORDGRASS PL, SAINT CLOUD FL 34773
28	302632329500010280	3355 CORDGRASS PL, SAINT CLOUD FL 34773
29	302632329500010290	3361 CORDGRASS PL, SAINT CLOUD FL 34773
30	302632329500010300	3365 CORDGRASS PL, SAINT CLOUD FL 34773
31	302632329500010310	3369 CORDGRASS PL, SAINT CLOUD FL 34773
32	302632329500010320	3373 CORDGRASS PL, SAINT CLOUD FL 34773
33	302632329500010330	3377 CORDGRASS PL, SAINT CLOUD FL 34773
34	302632329500010340	3381 CORDGRASS PL, SAINT CLOUD FL 34773
35	302632329500010350	3385 CORDGRASS PL, SAINT CLOUD FL 34773
36	302632329500010360	3389 CORDGRASS PL, SAINT CLOUD FL 34773
37	302632329500010370	3393 CORDGRASS PL, SAINT CLOUD FL 34773
38	302632329500010380	3397 CORDGRASS PL, SAINT CLOUD FL 34773
39	302632329500010390	3392 CORDGRASS PL, SAINT CLOUD FL 34773
40	302632329500010400	3388 CORDGRASS PL, SAINT CLOUD FL 34773

## HARMONY PARCELS NEIGHBORHOOD H1

LOT #	PARCEL ID	PHYSICAL ADDRESS
1	302632329300010010	3300 DARK SKY DR, HARMONY FL 34773
2	302632329300010020	3302 DARK SKY DR, HARMONY FL 34773
3	302632329300010030	3304 DARK SKY DR, HARMONY FL 34773
4	302632329300010040	3306 DARK SKY DR, HARMONY FL 34773
5	302632329300010050	3308 DARK SKY DR, HARMONY FL 34773
6	302632329300010060	3310 DARK SKY DR, HARMONY FL 34773
7	302632329300010070	3312 DARK SKY DR, HARMONY FL 34773
8	302632329300010080	3314 DARK SKY DR, HARMONY FL 34773
9	302632329300010090	3308 GRANDE HERON DR, HARMONY FL 34773
10	302632329300010100	3312 GRANDE HERON DR, HARMONY FL 34773
11	302632329300010110	3314 GRANDE HERON DR, HARMONY FL 34773
12	302632329300010120	3316 GRANDE HERON DR, HARMONY FL 34773
13	302632329300010130	3320 GRANDE HERON DR, HARMONY FL 34773
14	302632329300010140	3322 GRANDE HERON DR, HARMONY FL 34773
15	302632329300010150	3324 GRANDE HERON DR, HARMONY FL 34773
16	302632329300010160	3326 GRANDE HERON DR, HARMONY FL 34773
17	302632329300010170	6835 HABITAT DR, HARMONY FL 34773
18	302632329300010180	6833 HABITAT DR, HARMONY FL 34773
19	302632329300010190	6831 HABITAT DR, HARMONY FL 34773
20	302632329300010200	6827 HABITAT DR, HARMONY FL 34773
21	302632329300010210	6825 HABITAT DR, HARMONY FL 34773
22	302632329300010220	6821 HABITAT DR, HARMONY FL 34773
23	302632329300010230	6819 HABITAT DR, HARMONY FL 34773
24	302632329300010240	6815 HABITAT DR, HARMONY FL 34773
25	302632329300010250	6813 HABITAT DR, HARMONY FL 34773
26	302632329300010260	6809 HABITAT DR, HARMONY FL 34773
27	302632329300010270	6807 HABITAT DR, HARMONY FL 34773
28	302632329300010280	6800 HABITAT DR, HARMONY FL 34773
29	302632329300010290	6802 HABITAT DR, HARMONY FL 34773
30	302632329300010300	6804 HABITAT DR, HARMONY FL 34773
31	302632329300010310	6506 HABITAT DR, HARMONY FL 34773
32	302632329300010320	6808 HABITAT DR, HARMONY FL 34773
33	302632329300010330	6810 HABITAT DR, HARMONY FL 34773
34	302632329300010340	6812 HABITAT DR, HARMONY FL 34773
35	302632329300010350	6814 HABITAT DR, HARMONY FL 34773
36	302632329300010360	6816 HABITAT DR, HARMONY FL 34773
37	302632329300010370	6818 HABITAT DR, HARMONY FL 34773
38	302632329300010380	6820 HABITAT DR, HARMONY FL 34773
39	302632329300010390	6822 HABITAT DR, HARMONY FL 34773
40	302632329300010400	6824 HABITAT DR, HARMONY FL 34773
41	302632329300010410	6826 HABITAT DR, HARMONY FL 34773
42	302632329300010420	6828 HABITAT DR, HARMONY FL 34773
43	302632329300010430	6830 HABITAT DR, HARMONY FL 34773

## HARMONY PARCELS NEIGHBORHOOD H1

44	302632329300010440	6832 HABITAT DR, HARMONY FL 34773
45	302632329300010450	6834 HABITAT DR, HARMONY FL 34773
46	302632329300010460	3347 GRANDE HERON DR, HARMONY FL 34773
47	302632329300010470	3345 GRANDE HERON DR, HARMONY FL 34773
48	302632329300010480	3343 GRANDE HERON DR, HARMONY FL 34773
49	302632329300010490	3341 GRANDE HERON DR, HARMONY FL 34773
50	302632329300010500	3339 GRANDE HERON DR, HARMONY FL 34773
51	302632329300010510	3337 GRANDE HERON DR, HARMONY FL 34773
52	302632329300010520	3335 GRANDE HERON DR, HARMONY FL 34773
53	302632329300010530	3333 GRANDE HERON DR, HARMONY FL 34773
54	302632329300010540	3331 GRANDE HERON DR, HARMONY FL 34773
55	302632329300010550	3329 GRANDE HERON DR, HARMONY FL 34773
56	302632329300010560	3327 GRANDE HERON DR, HARMONY FL 34773
57	302632329300010570	3325 GRANDE HERON DR, HARMONY FL 34773
58	302632329300010580	6901 GRANDE HERON DR, HARMONY FL 34773
59	302632329300010590	6903 GRANDE HERON DR, HARMONY FL 34773
60	302632329300010600	6905 GRANDE HERON DR, HARMONY FL 34773
61	302632329300010610	6907 GRANDE HERON DR, HARMONY FL 34773
62	302632329300010620	6909 GRANDE HERON DR, HARMONY FL 34773
63	302632329300010630	6911 GRANDE HERON DR, HARMONY FL 34773
64	302632329300010640	6913 GRANDE HERON DR, HARMONY FL 34773
65	302632329300010650	6915 GRANDE HERON DR, HARMONY FL 34773
66	302632329300010660	6907 GRANDE HERON DR, HARMONY FL 34773
67	302632329300010670	6919 GRANDE HERON DR, HARMONY FL 34773
68	302632329300010680	6921 GRANDE HERON DR, HARMONY FL 34773
69	302632329300010690	6923 GRANDE HERON DR, HARMONY FL 34773
70	302632329300010700	3323 GRANDE HERON DR, HARMONY FL 34773
71	302632329300010710	3321 GRANDE HERON DR, HARMONY FL 34773
72	302632329300010720	3319 GRANDE HERON DR, HARMONY FL 34773
73	302632329300010730	3317 GRANDE HERON DR, HARMONY FL 34773
74	302632329300010740	3315 GRANDE HERON DR, HARMONY FL 34773
75	302632329300010750	3313 GRANDE HERON DR, HARMONY FL 34773
76	302632329300010760	3311 GRANDE HERON DR, HARMONY FL 34773
77	302632329300010770	3309 GRANDE HERON DR, HARMONY FL 34773
78	302632329300010780	3307 GRANDE HERON DR, HARMONY FL 347707
79	302632329300010790	3305 GRANDE HERON DR, HARMONY FL 34773
80	302632329300010800	3303 GRANDE HERON DR, HARMONY FL 34773
81	302632329300010810	3301 GRANDE HERON DR, HARMONY FL 34773
82	302632329300010820	6925 GRANDE HERON DR, HARMONY FL 34773
83	302632329300010830	6927 GRANDE HERON DR, HARMONY FL 34773
84	302632329300010840	6929 GRANDE HERON DR, HARMONY FL 34773
85	302632329300010850	6931 GRANDE HERON DR, HARMONY FL 34773
86	302632329300010860	6933 GRANDE HERON DR, HARMONY FL 34773
87	302632329300010870	6935 GRANDE HERON DR, HARMONY FL 34773

## HARMONY PARCELS NEIGHBORHOOD H1

88	302632329300010880	6937 GRANDE HERON DR, HARMONY FL 34773
89	302632329300010890	6939 GRANDE HERON DR, HARMONY FL 34773
90	302632329300010900	6941 GRANDE HERON DR, HARMONY FL 34773
91	302632329300010910	6943 GRANDE HERON DR, HARMONY FL 34773
92	302632329300010920	6848 LITTLE BLUE LN, HARMONY FL 34773
93	302632329300010930	6846 LITTLE BLUE LN, HARMONY FL 34773
94	302632329300010940	6844 LITTLE BLUE LN, HARMONY FL 34773
95	302632329300010950	6842 LITTLE BLUE LN, HARMONY FL 34773
96	302632329300010960	6840 LITTLE BLUE LN, HARMONY FL 34773
97	30-26-32-3293-0001-0970	6836 LITTLE BLUE LN, HARMONY FL 34773
98	30-26-32-3293-0001-0980	6834 LITTLE BLUE LN, HARMONY FL 34773
99	30-26-32-3293-0001-0990	6832 LITTLE BLUE LN, HARMONY FL 34773
100	30-26-32-3293-0001-1000	6830 LITTLE BLUE LN, HARMONY FL 34773
101	30-26-32-3293-0001-1010	6820 LITTLE BLUE LN, HARMONY FL 34773
102	30-26-32-3293-0001-1020	6822 LITTLE BLUE LN, HARMONY FL 34773
103	30-26-32-3293-0001-1030	6824 LITTLE BLUE LN, HARMONY FL 34773
104	30-26-32-3293-0001-1040	6826 LITTLE BLUE LN, HARMONY FL 34773
105	30-26-32-3293-0001-1050	6816 LITTLE BLUE LN, HARMONY FL 34773
106	30-26-32-3293-0001-1060	6814 LITTLE BLUE LN, HARMONY FL 34773
107	30-26-32-3293-0001-1070	6812 LITTLE BLUE LN, HARMONY FL 34773
108	30-26-32-3293-0001-1080	6810 LITTLE BLUE LN, HARMONY FL 34773
109	30-26-32-3293-0001-1090	6800 LITTLE BLUE LN, HARMONY FL 34773
110	30-26-32-3293-0001-1100	6802 LITTLE BLUE LN, HARMONY FL 34773
111	30-26-32-3293-0001-1110	6804 LITTLE BLUE LN, HARMONY FL 34773
112	30-26-32-3293-0001-1120	6806 LITTLE BLUE LN, HARMONY FL 34773

Harmony – Neighborhood F

<b>LOT#</b>	<b>PARCEL ID</b>	<b>PHYSICAL ADDRESS</b>
1	302632329400010010	3102 DARK SKY DR, SAINT CLOUD FL 34773
2	302632329400010020	3104 DARK SKY DR, SAINT CLOUD FL 34773
3	302632329400010030	3106 DARK SKY DR, SAINT CLOUD FL 34773
4	302632329400010040	3108 DARK SKY DR, SAINT CLOUD FL 34773
5	302632329400010050	3110 DARK SKY DR, SAINT CLOUD FL 34773
6	302632329400010060	3112 DARK SKY DR, SAINT CLOUD FL 34773
7	302632329400010070	3114 DARK SKY DR, SAINT CLOUD FL 34773
8	302632329400010080	3116 DARK SKY DR, SAINT CLOUD FL 34773
9	302632329400010090	3118 DARK SKY DR, SAINT CLOUD FL 34773
10	302632329400010100	3120 DARK SKY DR, SAINT CLOUD FL 34773
11	302632329400010110	3122 DARK SKY DR, SAINT CLOUD FL 34773
12	302632329400010120	3124 DARK SKY DR, SAINT CLOUD FL 34773
13	302632329400010130	3126 DARK SKY DR, SAINT CLOUD FL 34773
14	302632329400010140	3128 DARK SKY DR, SAINT CLOUD FL 34773
15	302632329400010150	3130 DARK SKY DR, SAINT CLOUD FL 34773
16	302632329400010160	3132 DARK SKY DR, SAINT CLOUD FL 34773
17	302632329400010170	3134 DARK SKY DR, SAINT CLOUD FL 34773
18	302632329400010180	3136 DARK SKY DR, SAINT CLOUD FL 34773
19	302632329400010190	3138 DARK SKY DR, SAINT CLOUD FL 34773
20	302632329400010200	3140 DARK SKY DR, SAINT CLOUD FL 34773
21	302632329400010210	3142 DARK SKY DR, SAINT CLOUD FL 34773
22	302632329400010220	3144 DARK SKY DR, SAINT CLOUD FL 34773
23	302632329400010230	3146 DARK SKY DR, SAINT CLOUD FL 34773
24	302632329400010240	3148 DARK SKY DR, SAINT CLOUD FL 34773
25	302632329400010250	3150 DARK SKY DR, SAINT CLOUD FL 34773
26	302632329400010260	3152 DARK SKY DR, SAINT CLOUD FL 34773
27	302632329400010270	3154 DARK SKY DR, SAINT CLOUD FL 34773
28	302632329400010280	3156 DARK SKY DR, SAINT CLOUD FL 34773
29	302632329400010290	3158 DARK SKY DR, SAINT CLOUD FL 34773
30	302632329400010300	3160 DARK SKY DR, SAINT CLOUD FL 34773
31	302632329400010310	3162 DARK SKY DR, SAINT CLOUD FL 34773
32	302632329400010320	3164 DARK SKY DR, SAINT CLOUD FL 34773
33	302632329400010330	3166 DARK SKY DR, SAINT CLOUD FL 34773
34	302632329400010340	3168 DARK SKY DR, SAINT CLOUD FL 34773
35	302632329400010350	3170 DARK SKY DR, SAINT CLOUD FL 34773
36	302632329400010360	3172 DARK SKY DR, SAINT CLOUD FL 34773
37	302632329400010370	3174 DARK SKY DR, SAINT CLOUD FL 34773
38	302632329400010380	3176 DARK SKY DR, SAINT CLOUD FL 34773
39	302632329400010390	3175 DARK SKY DR, SAINT CLOUD FL 34773
40	302632329400010400	3173 DARK SKY DR, SAINT CLOUD FL 34773
41	302632329400010410	3171 DARK SKY DR, SAINT CLOUD FL 34773
42	302632329400010420	3169 DARK SKY DR, SAINT CLOUD FL 34773
43	302632329400010430	3167 DARK SKY DR, SAINT CLOUD FL 34773

Harmony – Neighborhood F

44	302632329400010440	3165 DARK SKY DR, SAINT CLOUD FL 34773
45	302632329400010450	3163 DARK SKY DR, SAINT CLOUD FL 34773
46	302632329400010460	3161 DARK SKY DR, SAINT CLOUD FL 34773
47	302632329400010470	3159 DARK SKY DR, SAINT CLOUD FL 34773
48	302632329400010480	3157 DARK SKY DR, SAINT CLOUD FL 34773
49	302632329400010490	3153 DARK SKY DR, SAINT CLOUD FL 34773
50	302632329400010500	3151 DARK SKY DR, SAINT CLOUD FL 34773
51	302632329400010510	3147 DARK SKY DR, SAINT CLOUD FL 34773
52	302632329400010520	3143 DARK SKY DR, SAINT CLOUD FL 34773
53	302632329400010530	3141 DARK SKY DR, SAINT CLOUD FL 34773
54	302632329400010540	3139 DARK SKY DR, SAINT CLOUD FL 34773
55	302632329400010550	3137 DARK SKY DR, SAINT CLOUD FL 34773
56	302632329400010560	3135 DARK SKY DR, SAINT CLOUD FL 34773
57	302632329400010570	3133 DARK SKY DR, SAINT CLOUD FL 34773
58	302632329400010580	3131 DARK SKY DR, SAINT CLOUD FL 34773
59	302632329400010590	3129 DARK SKY DR, SAINT CLOUD FL 34773
60	302632329400010600	3127 DARK SKY DR, SAINT CLOUD FL 34773
61	302632329400010610	3125 DARK SKY DR, SAINT CLOUD FL 34773
62	302632329400010620	3123 DARK SKY DR, SAINT CLOUD FL 34773
63	302632329400010630	3121 DARK SKY DR, SAINT CLOUD FL 34773
64	302632329400010640	3119 DARK SKY DR, SAINT CLOUD FL 34773
65	302632329400010650	3117 DARK SKY DR, SAINT CLOUD FL 34773
66	302632329400010660	3115 DARK SKY DR, SAINT CLOUD FL 34773

**Harmony  
Planned Development Amendment**

**Exhibit B  
*Site Aerial***

# Harmony

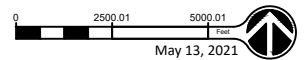
AERIAL PHOTOGRAPH



 SUBJECT SITE



**Rj WHIDDEN and  
ASSOCIATES, INC.**  
LAND PLANNERS AND DEVELOPMENT CONSULTANTS  
316 Church St. Kissimmee, FL. 34741 - 407 846 1880



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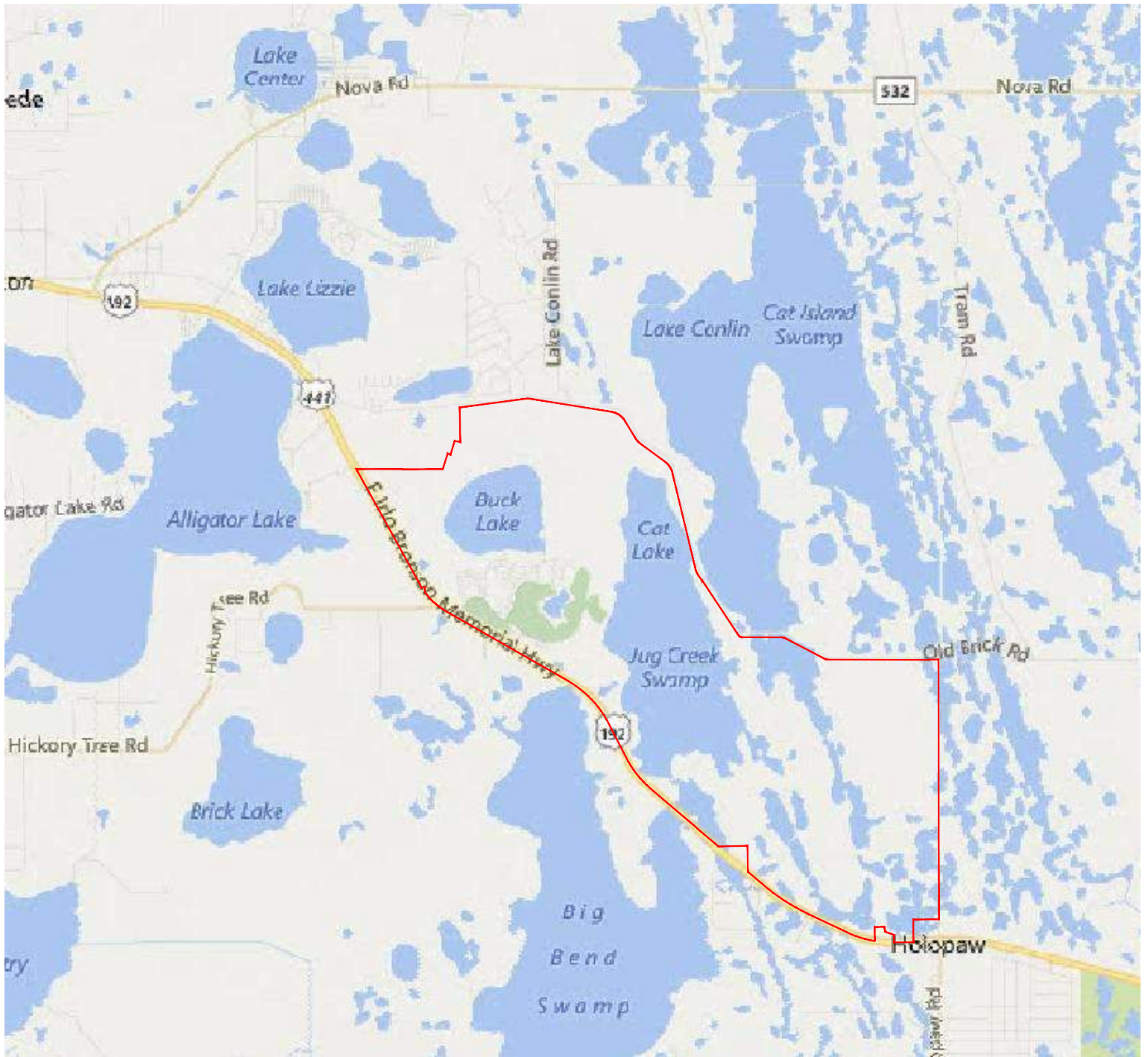


**Harmony  
Planned Development Amendment**

**Exhibit C  
*Site Location Map***

# Harmony

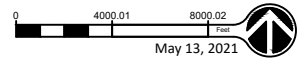
GENERAL LOCATION MAP



 SUBJECT SITE



**Rj WHIDDEN and ASSOCIATES, INC.**  
LAND PLANNERS AND DEVELOPMENT CONSULTANTS  
316 Church St. Kissimmee, FL. 34741 - 407 846 1880



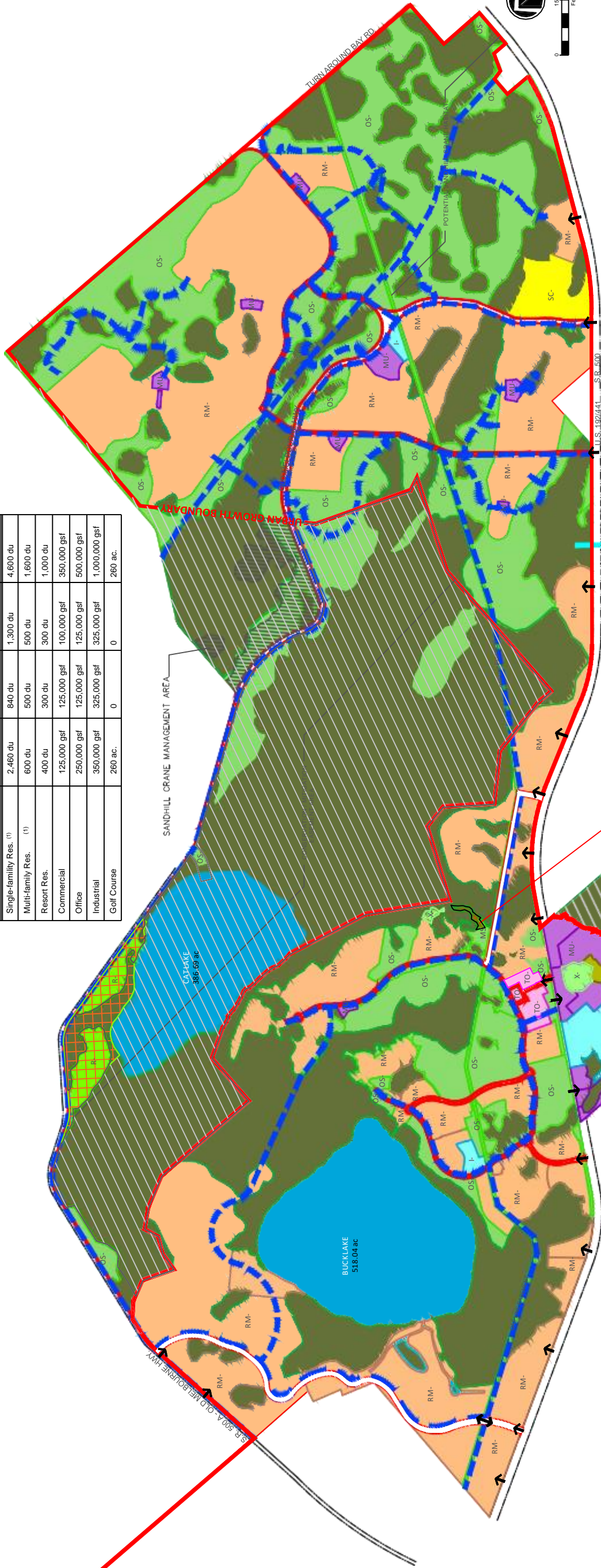
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**Harmony  
Planned Development Amendment**

**Exhibit D  
*Master Development Plan***

DEVELOPMENT PROGRAM

LAND USE	Phase 1 2012 - 2014	Phase 2 2015-2020	Phase 3 2021 - 2028	TOTAL
Single-family Res. (1)	2,460 du	840 du	1,300 du	4,600 du
Multi-family Res. (1)	600 du	500 du	500 du	1,600 du
Resort Res.	400 du	300 du	300 du	1,000 du
Commercial	125,000 gsf	125,000 gsf	100,000 gsf	350,000 gsf
Office	250,000 gsf	125,000 gsf	125,000 gsf	500,000 gsf
Industrial	350,000 gsf	325,000 gsf	325,000 gsf	1,000,000 gsf
Golf Course	260 ac.	0	0	260 ac.



PD ZONING  
MASTER DEVELOPMENT PLAN  
**Harmony**  
OSCEOLA COUNTY, FLORIDA

THIS GRAPHIC IS FOR INFORMATIONAL PURPOSES ONLY  
REVISED July, 2020



NOTES:

1. NEIGHBORHOOD COMMERCIAL AND INSTITUTIONAL USES PERMITTED IN RESIDENTIAL MIXED USE PARCELS THROUGHOUT THE PROJECT. LOCATION TO BE DETERMINED AT SDP LEVEL OF PERMITTING WITH OSCEOLA COUNTY. NEIGHBORHOOD COMMERCIAL SQUARE FOOTAGE IS INCLUDED IN THE COMMERCIAL SQUARE FOOTAGE SPECIFIED IN THE DEVELOPMENT PROGRAM.
2. PERMITTED OPEN SPACE USES SHALL BE CONSISTENT WITH THE HARMONY FLUM AND THE RURAL/AG FLUM CATEGORY AS DESCRIBED HEREIN.
3. NEIGHBORHOOD PARKS TO BE LOCATED THROUGHOUT THE RESIDENTIAL PARCELS CONSISTENT WITH T.I.D. CRITERIA.
4. TOWN CENTER PERMITTED USES TO INCLUDE COMMERCIAL, RESIDENTIAL, RESORT RESIDENTIAL, OFFICE AND INSTITUTIONAL. RESIDENTIAL UNITS AND/OR SQUARE FOOTAGE FOR THESE USES ARE INCLUDED WITHIN THE UNITS AND/OR SQUARE FOOTAGE SPECIFIED IN THE DEVELOPMENT PROGRAM CHART.
5. EQUESTRIAN TRAILS/FACILITIES PERMITTED THROUGHOUT PROJECT SITE LOCATION TO BE DETERMINED AT SDP LEVEL OF PERMITTING WITH OSCEOLA COUNTY.
6. WETLANDS DIGITIZED FROM AERIAL PHOTOGRAPHS. WETLANDS THAT ARE LESS THAN 5 AC. IN SIZE ARE NOT SHOWN AND WILL BE ADDRESSED AT THE SDP LEVEL OF PERMITTING. WETLAND IMPACTS FOR ACCESS EQUALS APPROXIMATELY 7.52 AC. LOCATION IS APPROXIMATE AND MAY CHANGE WHEN SURVEYED. THIS SHALL BE PERMITTED THROUGH LOCAL JURISDICTIONS AND WILL NOT REQUIRE AN ADDITIONAL REVIEW.
7. HARMONY INSTITUTE IS PERMITTED USE WITHIN ALL LAND USE CLASSIFICATIONS. FINAL LOCATIONS & FACILITIES TO BE IDENTIFIED AT COUNTY SDP LEVEL OF PERMITTING CONSISTENT WITH THE SCHOOL SITING STANDARDS OF THE LDC.
8. MANAGEMENT OF THE GOLF COURSE SHALL INCLUDE STANDARD GOLF COURSE MANAGEMENT TECHNIQUES. A TOTAL OF FIVE ACRES OF GOLF COURSE LAND LITTORAL ZONES SHALL BE MANAGED IN PERPETUITY TO PROVIDE A SHALLOW EMERGENT WETLAND HABITAT. SUCH EMERGENT WETLAND HABITAT SHALL PROVIDE BOTH NESTING AND FORAGING HABITAT FOR FLORIDA SANDHILL CRANES. LITTORAL ZONES SHALL BE PROVIDED WITHIN PONDS ADJACENT TO WETLANDS IN GOLF COURSE.

LAND USE LEGEND	ACREAGE
OS- RECREATION / OPEN SPACE CONSERVATION	2070.3
WETLAND CONSERVATION	1993.7
LAKES (EXCLUSIVE OF CAT LAKE)	518.0
X- XERIC PRESERVE	14.6
HP- HABITAT PRESERVE	26.2
CONSERVATION / MITIGATION EASEMENT (INCLUSIVE OF CAT LAKE)	3240.7
RIGHT OF WAY / FRAMEWORK STREET	196.1
TOWN CENTER	25.5
MIXED USE RESIDENTIAL	2394.3
MIXED USE NON- RESIDENTIAL	235.0
INSTITUTIONAL	145.6
STANDARD COMMERCIAL	59.7
RURAL	107.9
MAINTENANCE / STORAGE	3.2
TOTAL ACREAGE	11030.9

GRAPHIC LEGEND:

- INTERIOR CORRIDOR ROAD CROSSINGS
- POTENTIAL ACCESS POINTS ALONG SR 500. THE EXACT NUMBER AND LOCATIONS WILL BE AS DETERMINED BY OSCEOLA COUNTY & FDOT ACCESS MANAGEMENT CRITERIA.
- DESIGNATES PAVED AND UNPAVED PEDESTRIAN, BICYCLE AND/OR EQUESTRIAN TRAILS. ADDITIONAL TRAILS MAY BE ADDED THROUGH THE S.D.P. PROCESS SUBJECT TO AGENCY REVIEW AND APPROVAL
- DESIGNATES OSCEOLA COUNTY URBAN GROWTH BOUNDARY
- DESIGNATES WILD LIFE CROSSING BOX CULVERT
- SANDHILL CRANE MANAGEMENT AREA
- COMMERCIAL OFFICE, RESIDENTIAL, RESORT RESIDENTIAL AND INSTITUTIONAL USES ARE ALL PERMITTED USES WITHIN THE TOWN CENTER AND RESORT RESIDENTIAL AREAS.

**Harmony  
Planned Development Amendment**

**Exhibit E  
*Harmony PD Permitted Uses Table***

## EXHIBIT E - HARMONY PD PERMITTED USES TABLE

	Town Center	Residential Mixed Use (Inc. R2 & R3)	Non-Residential Mixed Use	Institutional	Standard Commercial	Recreation / Open Space	Conservation	Rural
Accounting	P	P	P		P	P		
Adult Congregate care and/or assisted living communities	P	P	P					
Agricultural facilities and barns	P	P	P			P		P
Agricultural Feed, Seed & Fertilizer sales			P		P			P
Alternative and Green Energy Related Facilities	P	P	P		P	P		P
Appliance Sales and Service			P		P			
Art Gallery	P	P	P		P			
Art studio	P	P			P			
Assembly and Manufacturing uses not listed as permitted uses		P	P		P			
Assembly/Packaging of Electrical and Mechanical devices			P		P			
Assembly/Packaging of Pre-Manufactured Consumer Products			P		P			
Athletic Clubs, Health and Fitness Centers	P	P	P	P	P			
Attorneys	P	P			P			
Audio / Video Production		P	P					
Auto Body Shop			P		P			
Automobile Parts Sales (No Outdoor Storage Allowed)			P		P			
Automobile Service and Repair (Indoor Only)			P		P			

## EXHIBIT E - HARMONY PD PERMITTED USES TABLE

	Town Center	Residential Mixed Use (Inc. R2 & R3)	Non-Residential Mixed Use	Institutional	Standard Commercial	Recreation / Open Space	Conservation	Rural
Automobile Tires and Mufflers Sales			P		P			
Automobile Washing			P		P			
Bait and Tackle shops		P	P		P			A
Bakery	P	P	P		P			
Ball fields and other multi-use field recreation uses	P	P	P	P	P	P		A
Barber shop	P	P	P		P			
batting cages		P	P	P	P	P		
Bicycle sales and service	P		P		P			
Boardwalks	P	P	P		P	P	P	P
Boat ramps						P	P	P
Building Supplies	P		P		P			
Bus shelters	P	P	P		P	P		
Business Consultants	P	P			P			
Business Support facilities (restaurants, print shops, etc...)	P	P	P		P			
Cabinet and Carpentry Shops			P		P			
Canoe and Kayak launching/loading areas and storage facilities		P				P	P	P
Child Care Center	P	P		P	P			
Cinema	P				P			
Clubhouse(s)	P	P	P			P		

## EXHIBIT E - HARMONY PD PERMITTED USES TABLE

	Town Center	Residential Mixed Use (Inc. R2 & R3)	Non-Residential Mixed Use	Institutional	Standard Commercial	Recreation / Open Space	Conservation	Rural
Community based research and civic uses	P	P	P	P	P			P
Community Halls	P	P	P	P		P		
Community Maintenance facilities	P	P	P	P	P	P		A
Community Pools	P	P	P	P	P	P		A
Conference or Meeting Halls	P	P		P	P			
Consulting Services	P	P			P			
Convenience store with or without gas service			P		P			
Convenience stores without gas service	P	P	P		P			
Dance, Fitness, Karate Studios	P	P	P		P			
Defined greenbelts and wildlife corridors	P	P	P		P	P	P	P
Distribution Center			P					
Dog Parks	P	P	P		P	P		A
Dormitories		P	P	P				A
Drainage Structures	P	P	P	P	P	P	P	P
Dry Cleaning (Commercial)			P		P			
Dry-cleaning (Retail)	P	P	P		P			
Educational Center	P	P	P	P	P	P	P	A
Electric and Communication Utility Structures	P	P	P	P	P	P		P



## EXHIBIT E - HARMONY PD PERMITTED USES TABLE

	Town Center	Residential Mixed Use (Inc. R2 & R3)	Non-Residential Mixed Use	Institutional	Standard Commercial	Recreation / Open Space	Conservation	Rural
Entry Features in scale with surrounding structures	P	P	P	P	P	P		P
Environmental center	P	P	P	P	P	P	P	P
Equestrian Center	P3	P	P	P	P	P	P	P
Equestrian Trails	P	P	P	P	P	P	P	P
Equestrian Uses and Facilities	P3	P	P	P	P	P		P
Financial Services	P	P			P			
Fire Station	P	P	P	P	P			
Fire Station with EMS	P	P	P	P	P			
Fire/Police/EMS station sites			P	P	P			
Fishing Piers, Boat docks	P	P	P			P	P	P
Fishing Piers, Docks, Boat ramps/boat slips		P			P	P	P	P
Florist	P		P		P			
Funeral Home	P		P		P			
Garden Center / Nursery (Indoor and Outdoor)			P		P			
Gas Distribution Pipeline	P	P	P	P	P	P	P	
Gas Station with automobile service bays and car wash			P		P			
General Business Office	P	P			P			
General Commercial	P	P	P		P			
General Contractors Office and Yard			P		P			

## EXHIBIT E - HARMONY PD PERMITTED USES TABLE

	Town Center	Residential Mixed Use (Inc. R2 & R3)	Non-Residential Mixed Use	Institutional	Standard Commercial	Recreation / Open Space	Conservation	Rural
General Office	P	P			P			
General Professional services	P	P			P			
General Retail	P	P			P			
Golf courses, including associated facilities						P		
Governmental Offices	P			p	P			
Grocery store	P				P			
Hardware, Home & Garden Supply	P		P		P			
Harmony Institute	P	P	P	p	P	P		P
Heliport			P		P			
Hotel/motel	P	P			P			
Ice-cream, Candy, Cookie Shop	P	P			P			
Information Kiosks	P	P	P		P	P		A
Institutional Uses		P	P	P	P			
Interior Decorating and Furniture Sales	P		P		P			
Internet and Technology Consultants	P				P			
Laundromat (Retail)	P		P		P			
Lawn and Tractor Equipment Sales & Service			P		P			
Libraries and other neighborhood activities not operated for profit	P	P		P	P			

## EXHIBIT E - HARMONY PD PERMITTED USES TABLE

	Town Center	Residential Mixed Use (Inc. R2 & R3)	Non-Residential Mixed Use	Institutional	Standard Commercial	Recreation / Open Space	Conservation	Rural
Libraries and other public or civic uses	P	P	P	P	P			
Light industrial(not already listed) that are consistent with the intent of this PD			P		P			
Lumber yard			P		P			
Machine Shop			P					
Manufacturing			P					
Meat, fish and seafood Markets			P		P			
Medical/Dental clinics/centers	P		P		P			
Mini-Storage			P		P			
Montessori Schools	P	P		P	P			
Motorcycle/ATV/NEV Sales & Service			P		P			
Museums and galleries	P			P	P			
Music Studio	P		P	P	P			
Neighborhood Entry Features in scale with surrounding structures		P		P	P			P
Neighborhood pub and or lounge	P				P			
Neighborhood Retail	P	P			P			A
Observation platforms and blinds (covered and uncovered)				P	P	P	P	P
Office support facilities such as shipping and print shops, etc	P		P		P			
Outdoor / Indoor Skate park			P		P	P		
Outdoor Amphitheaters	P	P	P	P	P	P		A

## EXHIBIT E - HARMONY PD PERMITTED USES TABLE

	Town Center	Residential Mixed Use (Inc. R2 & R3)	Non-Residential Mixed Use	Institutional	Standard Commercial	Recreation / Open Space	Conservation	Rural
Outdoor recreational fields and associated facilities		P		P	P	P		A
Outdoor RV and Boat Storage			P					
Paint and Glass Sales			P		P			
Paint Shop			P		P			
Parking Garage	P			P	P			
Parks	P	P	P	P	P	P		P
Pedestrian sidewalks and bicycle paths (pervious and impervious)	P	P	P	P	P	P		P
Pet Supplies	P		P		P			
Petroleum Sales (gas station)			P		P			
Pharmacy	P				P			
Photographic Services	P		P		P			
Plumbing/HVAC/Electrical Contracting			P		P			
Police station and security houses/stations	P	P	P	P	P			
Pool / Spa Installers and Contractors			P		P			
Pool Supplies and Service			P		P			
Printing and Publishing			P		P			
Professional Office	P		P	P	P			A
Professional Services	P		P	P	P			

## EXHIBIT E - HARMONY PD PERMITTED USES TABLE

	Town Center	Residential Mixed Use (Inc. R2 & R3)	Non-Residential Mixed Use	Institutional	Standard Commercial	Recreation / Open Space	Conservation	Rural
Public Parks	P	P	P	P	P	P		P
Public Relations Managers	P				P			
Public squares/ courtyards (pervious and impervious)	P	P	P	P	P	P		P
Religious structures and supporting facilities	P	P		P	P			
Reprographic Services	P		P		P			
Research and Laboratory Facilities	P		P	P	P			A
Residential and Commercial Real Estate Services	P	P			P			
Residential Multi-Family Residential dwellings duplex, triplex, townhouse, apartments, & condo units	P1	P1			P1			
Residential Multi-Family Residential live work Town Home or Condo Units	P1				P1			
Residential Single Family Residential Lots Attached or Detached Uses with Office	P1	P						
Residential Single Family Units- Detached		P2						P2
Residential Single Family Units - Attached Townhomes	P1	P1			P1			
Restaurant and banquet facility	P							A
Restaurants	P	P						
Retail	P							A
Roofing Contractors			P					
RV / Boat Service and Repair			P		P			
Sales and Marketing Services	P	P			P			
Salon or Spa Services	P				P			

## EXHIBIT E - HARMONY PD PERMITTED USES TABLE

	Town Center	Residential Mixed Use (Inc. R2 & R3)	Non-Residential Mixed Use	Institutional	Standard Commercial	Recreation / Open Space	Conservation	Rural
Schools, both public and private	P	P	P	P	P			
Self service laundry	P				P			
Service and Repair of Appliances and Electronics			P		P			
Shared Surface Parking Lots (Commercial Use)	P		P	P	P			
Shopping center with multiple tenants	P				P			
Small Engine Service and Repair			P		P			
Sport's Complex, including associated fields, seating, associated structures and parking		P		P	P	P		
Stormwater Management Ponds and Facilities	P	P	P	P	P	P		P
Temporary facilities for carnivals, art shows, food festivals, etc	P	P	P	P	P	P		
tennis courts		P		P		P		
Testing Laboratories			P		P			
Tower (steeple, bell, water, observation or other in scale with surrounding structures with none but code required associated lighting)	P	P	P	P	P	P		
Towers (Radio, Telecommunications) *			P	P	P			
Trail head, wayfinding and informational displays	P	P	P	P	P	P	P	P
Trails and Boardwalks		P	P	P	P	P	P	P
Upland Preservation	P	P	P	P	P	P	P	P
Utilities (including alternative energy facilities)		P	P		P			P
Utility Infrastructure Uses*			P		P			P

## EXHIBIT E - HARMONY PD PERMITTED USES TABLE

	Town Center	Residential Mixed Use (Inc. R2 & R3)	Non-Residential Mixed Use	Institutional	Standard Commercial	Recreation / Open Space	Conservation	Rural
Utility sub-stations and transmission lines	P	P	P	P	P	P		
Veterinary office/clinic (must be located in an enclosed building with no outdoor runs or pens)	P		P		P			
Video Rental	P	P	P		P			
volley ball courts		P		P		P		
Warehouse			P					
Wastewater Lift Stations		P	P		P	P		
Water and Wastewater Utilities			P		P			
Welding Shop			P		P			
Wholesale uses	P		P		P			
Worship Center	P	P	P	P	P			

**LEGEND AND NOTES:**

**P = PERMITTED USE**

**A = Ancillary Use**

**\* = SUBJECT TO LDC SITING STANDARDS**

COPY

**EXHIBIT E - HARMONY PD PERMITTED USES TABLE**

P1)

Residential dwellings including duplex, triplex, townhouse, apartment complex, live-work, and condominiums all may include the following customary uses when accessory and incidental to the main structure(s):

- a. Accessory structures
- b. Attached or detached garage
- c. Carport Concrete walkways
- d. Concrete walkways
- e. Decks (wood, concrete or other)
- f. Fencing and screening
- g. Open air gardens
- h. Pervious walkways
- i. Porch
- j. Retaining walls (wood, concrete or other)
- k. Street legal alternative vehicle storage(personal use only)
- l. Trellis (wood, aluminum or other)

Residential dwellings consisting of detached Single-Family and townhouse, all including the following customary uses when accessory and incidental to the main structure(s):

P2)

- a. swimming pool
- b. accessory structures
- c. attached or detached garage
- d. carport
- e. concrete walkways
- f. decks (wood, concrete or other)
- g. fencing and screening
- h. Garage Apartment or Accessory Dwelling Unit
- i. greenhouse (glass or other material)
- j. open air gardens
- k. pervious walkways
- l. porch
- m. retaining walls (wood, concrete or other)
- n. sauna/bath house
- o. street legal alternative vehicle storage (personal use only)
- p. trellis (wood, aluminum or other)



# COPY

## EXHIBIT E - HARMONY PD PERMITTED USES TABLE

P3)

Permitted Equestrian uses within the Town Center:

A. The following Equestrian uses and associated structures as described below shall be permitted uses within the Town Center and shall not require additional approval:

1. Grazing of horses not to exceed 1 horse per 1 ½ acres
2. Board, split rail, wire, electric or similar pasture fencing.
3. Shade structures
4. Small sheds and iconic structures.
5. Mounting ramps, corals, and pens.
6. As non-habitable agricultural structures, structures described in this paragraph will not require fire protection.

B. The following Equestrian uses shall remain permitted uses through the Town Center but shall require EIP approval prior to construction:

1. Any structures containing office space or restrooms.
2. Drop off or parking areas.
3. Other similar structures exceeding the thresholds described in Paragraph I.
4. Grazing of horses not to exceed 1 horse per 1 ½ acres.

**Harmony  
Planned Development Amendment**

**Exhibit F  
*Development Standards Table***

District	Residential Related Requirements						Other General Requirements						Setbacks (See Notes 1 and 2 on Page 2)						Parking Requirement	Other Requirements
	Maximum Residential Density (DU per acre)	Minimum Residential Density (DU per acre)	Minimum Lot Width (ft.)	Minimum Lot Area (SF)	Minimum Separation Between Buildings (ft)	Maximum Height (ft.)	Max F.A.R.	Max I.S.R.	Min. Open Space	Front (Primary Structure) (ft)	Front (Porch) (ft)	Side (ft)	Corner Side (Primary Structure) (ft)	Corner Side (to Wrap Around Porch) (ft)	Rear (ft)	Front Loaded Garage (ft)	Alley Loaded Garage (ft)			
5.1 Residential Mixed Use																				
5.1.1 Residential Development Standards																				
5.1.1.1. Detached Single Family Lots	25	2	25	2,000	10	50	NA	NA	NA	13	5	5	10	5	5	20	12.5' to alley tract and Min. of 18' to alley travel lane	2 spaces per unit	Setbacks apply to primary structure, pool, screen enclosure and any other accessory structure	
5.1.1.1.a. Accessory Dwelling Unit	only 1 ADU or Garage Apartment per lot	only 1 ADU or Garage Apartment per lot	NA	NA	10	50	NA	NA	Setbacks of Primary Structure Shall Apply								12.5' to alley tract and Min. of 18' to alley travel lane	1 additional space	Setbacks apply to primary structure, pool, screen enclosure and any other accessory structure	
5.1.1.1.b. Garage Apartment	only 1 ADU or Garage Apartment per lot	only 1 ADU or Garage Apartment per lot	NA	NA	10	50	NA	NA	Setbacks of Primary Structure Shall Apply								12.5' to alley tract and Min. of 18' to alley travel lane	See Section 5.1.1.1 of the Development Standards Narrative for additional special requirements related to this use.	Setbacks apply to primary structure, pool, screen enclosure and any other accessory structure	
5.1.2. Attached Single Family / Townhome Lots	25	2	15	1,200	10	57.5	NA	NA	5	0	0	10	NA	NA	5	20	12.5' to alley tract and Min. of 18' to alley travel lane	2 spaces per unit	Setbacks apply to primary structure, pool, screen enclosure and any other accessory structure	
5.1.1.3. Multi-Family	25	NA	NA	NA	10	57.5	2.00	85%	Front: 0 ft (when adjacent to CDD R/W, 10 ft. in other cases)	5	5	5	NA	NA	5	20	12.5' to alley tract and Min. of 18' to alley travel lane	2 spaces per unit	Setbacks apply to primary structure, pool, screen enclosure and any other accessory structure	
Non Residential Development Standards	NA	NA	NA	NA	10	57.5	2.00	85%	Front: 0 ft (when adjacent to CDD R/W, 10 ft. in other cases)	5	5	5	NA	NA	5	20	12.5' to alley tract and Min. of 18' to alley travel lane	1 space per 500 SF	A minimum of 50% of parking shall be on-site with remaining spaces located within 500 ft. of the use.	
5.1.3. Residential Business Standards	25	2	25	2,000	10	57.5	NA	NA	5	5	5	5	5	5	20	12.5' to alley tract and Min. of 18' to alley travel lane	See Section 5.1.3 of the Development Standards Narrative for additional special requirements related to this use.			
5.1.4. Resort Residential Standards																				
5.1.4.1. Residential Units	Same as 5.1.1.1 for Detached Single Family Units, Same as 5.1.1.2. for Attached or Townhome Units, Same as 5.1.1.3. for Multi-Family Buildings																			
5.1.4.2. Non- Residential Uses	Same as 5.1.2.																			
5.1.5. Sports Complex	NA	NA	NA	NA	10	50	NA	85%	15%	Front, Rear and Side yard Setbacks are a standard 10 ft. except where adjacent to an open space tract in which case a 0 ft. setback is allowed.								See Section 5.6.2 of the Development Standards Narrative for additional special requirements related to this use.		





**Harmony  
Planned Development Amendment**

**Exhibit G  
*Sandhill Crane Management Plan***

CL 2005017427

OR 2684/2

Exhibit D

Sandhill Crane Management Plan

The preservation and maintenance of over 250 acres of Florida sandhill crane (*Grus canadensis pratensis*) foraging habitat is proposed (Table 17-1). Two areas for management include the proposed golf course (256.4 acres) and an improved pasture-preservation area in the central portion of the site (90.0 acres). Areas of saw palmetto (*Serenoa repens*) prairie and wax myrtle (*Myrica cerifera*) will be converted. Disking the preserved improved pasture during the late winter or early spring may help to reduce the amount of mowing and may be a beneficial management technique for providing a forage base for the Florida sandhill cranes.

Table 17-1 Summary of Managed Native Grassland Habitats Required by Development No. 17 for the Harmony (a.k.a. Birchwood Acres) Project Site, Osceola County, Florida.

Location	Acres	Management
Open Space Area Number 1	23.2	Standard golf course turf management practices
Open Space Area Number 2	187.2	Standard golf course turf management practices
Open Space Area Number 3	41.0	Standard golf course turf management practices
Planted Littoral Zones within Open Space Areas (Number 1, 2 & 3)	5.0	Planting of emergent species within littoral zones adjacent to golf course turf
Subtotal	256.4	
Improved Pasture Preservation and Areas to be Converted	90.0	
Subtotal	90.0	
<b>TOTAL</b>	<b>346.4</b>	

**Harmony  
Planned Development Amendment**

**Exhibit H1 and H2  
*Regionally Significant Wetlands***



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**Harmony  
Planned Development Amendment**

**Exhibit I**  
***Sign CDP09-0001***

# **HARMONY MASTER SIGNAGE**

## **COMPREHENSIVE DEVELOPMENT PLAN**

**CDP09-0001**



**Initial Submittal: January 13, 2009**

**Revision Date: March 24, 2009**

**Revision Date: April 29, 2009**

**Revision Date: June 4, 2009**

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- **Section 5.0**            **Non-conforming Signs**
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## SECTION 1.0 PURPOSE AND SCOPE

As Harmony has progressed into its building program it has become necessary to provide a comprehensive framework for signage to be located within the Harmony DRI. This framework will provide direction to applicant/developers and owners while at the same time providing Osceola County with the assurance that Harmony signage will be undertaken in such a way as to be in general conformance with the intent of the County's regulations and the approved PD.

- 1.1** The purpose of this CDP is to control signs in a manner that will protect property values, enhance the character of Harmony and protect the public's safety and welfare. Since signs also support and complement land use objectives while still permitting reasonable identification and advertising by professional, commercial, and industrial establishments. The guidelines shall prohibit signs that by their size, location, construction, content or manner of display are not aesthetically pleasing, endanger the public safety of individuals, confuse, mislead, obstruct the vision necessary for the traffic safety, or otherwise endanger public health, safety, or welfare.
  
- 1.2** The principal features of this CDP are:
  - 1.2.1** It is intended to complement Osceola County's Outdoor Advertising regulations by relating signs to the major characteristics of streets and areas. This will be accomplished by identifying approved signage for the Harmony Planned Development/DRI.
  
  - 1.2.2** This CDP will further implement the approved Harmony PD.
  
  - 1.2.3** It restricts the total sign area permissible per building. Any sign placed on land or on a building for the purpose of identification, direction or for advertising a use conducted therein or thereupon shall be deemed accessory and incidental to such land, building or use. It is intended that the display of signs will be appropriate to the land, building or use, but not excessive. With respect to sign advertising business uses, it is specifically intended, among other things, to avoid excessive competition and clutter among sign displays in their demand for public attention.

**1.2.4** All temporary signs shall be limited and regulated as noted herein.

**1.3** This CDP shall not regulate:

- a. Building design;
- b. Official traffic or government signs;
- c. Signs which are not intended to be viewed from any street, road, highway, public or private pedestrian way; gravestones; religious plaques; the display of street numbers; or any display or improvement not defined herein as a sign.

**SECTION 2.0 GENERAL PROVISIONS**

**2.1** It shall hereafter be unlawful for any person to erect, place or maintain, or suffer to be erected, placed or maintained, any sign in Harmony except in accordance with the provisions of this CDP.

**2.2** It shall be a violation of this CDP to place any signage on a site that was created in violation of any land development regulation of Osceola County, Florida.

**2.3** The administration of this CDP is vested in the office of the Zoning Official, his authorized agent, or other person that the Board of the County Commissioners may from time to time designate. The administration of enforcement of the Southern Standard Building Code is vested in the office of the Building Official, his authorized agent, or other person that the Board of County Commissioners may from time to time designate.

**2.4** The applicant must demonstrate to the satisfaction of the County that a given sign application is in conformance with the guidelines established by this CDP. Notwithstanding this CDP, any sign determined by Building Department to require a building permit shall be permitted. No sign

shall be authorized to be placed within the site triangle and no sign shall be placed where line of site is obstructed.

**2.5** No sign shall be erected, altered or relocated without a permit issued by the County, except as otherwise provided herein. A separate permit shall be required for electrical work. Anything defined herein as repairs or maintenance of signs shall not require a permit. If an existing sign is replaced with a new sign the permitting requirements in this CDP must be complied with, whether a permit was required to erect the original sign or not.

**2.6 County Permit Requirements**

**2.6.1** Every permit application shall include:

- a. Legal description of the property.
- b. Physical address of the property.
- c. Name and address of the property owner.
- d. Name and address of the sign contractor.
- e. Written consent of the owner.
- f. Two (2) sets of structural design plans, showing all dimensions of sign, signed and sealed by a Florida registered Engineer if sign structure is over ten (10) feet in height or thirty-two (32) square feet in size.
- g. Two (2) site plans, including property dimensions, proposed sign location and correct setbacks for sign.





Space zones. In all other zones any lighting for new or replacement signage shall meet the criteria of this section.

- 2.7.2** Signs erected in Harmony shall not be placed closer than 30 feet if illuminated to any residential boundary line.
- 2.7.3** Internally illuminated signs must be constructed either with an opaque background and translucent text and symbols, or with a colored (not white, off-white, light gray, cream or yellow) background and generally LIGHTER text and symbols. See illustration E-14.
- 2.7.4** Externally illuminated signs shall either be lit with ground-mounted lights with dark sky friendly shields or with gooseneck lights mounted above the sign, which direct the light downward onto the sign panel only. See illustration E-11.

## **2.8 Landscape Requirements**

- 2.8.1** Permanent freestanding commercial signs (monument, pylon, etc) shall be located within a landscaped area at the base of the sign. The landscaped area ratio to sign area shall be 5:1. A landscape plan shall be submitted with any application for permitting a permanent freestanding commercial sign. The landscaped area surrounding a sign shall create an esthetic effect by the combined use of drought tolerant native plant material and appropriate mulching material. Landscaped areas must be maintained to promote healthy plant growth.

## **2.9 Permitted Signs – Construction of signs that are required by this CDP to have a permit shall adhere to the following standards.**

- 2.9.1** All signs shall be designed and constructed in accordance with the requirements of the Southern Standard Building Code. Unless exempted by the Southern Standard Building Code, no sign shall be constructed, erected or structurally altered without a building permit.

- 2.9.2** No person may engage in the business of erecting, altering, relocating, constructing, or maintaining signs without a valid contractor's license and all required state and federal licenses.
  
- 2.9.3** All permanent signs shall have self-supporting structures erected on or permanently attached to concrete foundations which comply with the requirements of the Southern Standard Building Code and County regulations, unless specified otherwise herein.
  
- 2.9.4** All signs shall comply with the wind load requirements of the Southern Standard Building Code.
  
- 2.9.5** Electrical permits are required for all signs if they are to be lighted or electrically wired, notwithstanding the fact that they may be exempt from having a building permit for the sign. Electric service shall be provided by underground wiring installed by licensed electricians operating with a current electrical building permit except for temporary signs, where temporary electric service may be provided as determined appropriate by the County Building Official. Self contain low voltage solar power lighting and/or battery powered lighting do not require a permit unless the Building Official determines a building permit is required.

## **2.10 Measurement of Signage**

- 2.10.1** Signage area is measured by multiplying the length of a lettered or numbered message, name or statement by the height of the lettered or numbered message. If an advertisement exceeds a single line, the dimensions of each line are added for a total. The total calculations of the letters and logo combined will be defined as the copy area.
  
- 2.10.2** Logos and icons are counted in the calculation of signage area by multiplying the height by the width of the logo or icon.
  
- 2.10.3** Artwork, such as building paintings/murals are not included in calculations of building signage unless the painting/mural displays corporate logos, icons, names or products.

## 2.11 Allowable Building Wall (Façade Segment) Signage

**2.11.1** Unless specifically noted, total signage on a given building wall side will be limited as follows:

- a. Total signage shall not exceed 1.25 square feet of sign area for each one (1) linear foot of façade or façade segment width up to one-hundred (100) linear feet, plus one-half (1/2) square foot for each additional one (1) linear foot of width. See illustration E-4.

**2.11.2** Artistic designs that are not considered a sign nor intended for advertising and/or announcements, such as murals and artistic paintings, will not be counted as a part of the total signage coverage entitlement.

## 2.12 County Right-of-Way and CDD Landscape/Utility (LANDSCAPE/UTILITY (L/U)) Tract

**2.12.1** *County Roads* – Excepting traffic signs, signs are not permitted to intrude inside the curb on any County road. Signs located along County rights-of-way with curbed pavement must be setback a minimum of one (1) foot from the back of the curb. Signs located along County rights-of-way without curbs must be setback a minimum of five (5) feet from the edge of the pavement. Blade signs, corner signs and other signs that extend over the CDD LANDSCAPE/UTILITY (L/U) Tract must be setback a minimum of one (1) foot from the back of the curb.

**2.12.2** *Community Development District LANDSCAPE/UTILITY (L/U) Tract* – Signs may intrude into or extend over the CDD Landscape/Utility Tract, with written permission from the CDD. Signs located along CDD LANDSCAPE/UTILITY (L/U) Tract with a design speed of greater than 45 miles per hour must be setback a minimum of three (3) feet from the back of the curb. Signs located along CDD LANDSCAPE/UTILITY (L/U) Tracts with a design speed equal to or less than 45 miles per hour must be setback a minimum of one (1) foot from the back of the curb. Blade signs, corner signs and other signs that extend over the CDD LANDSCAPE/UTILITY (L/U) Tract must have a minimum vertical clearance of eight (8) feet. See illustration E-7.

## **2.13 Miscellaneous Provisions**

- 2.13.1** No sign may be erected in such a manner as to impede ingress and egress through any door or emergency exit of any building, impair visibility at any street intersection or driveway entrance, create a traffic or fire hazard, or create conditions adversely affecting the public safety.
- 2.13.2** No sign shall be erected which displays any statement, words, characters or illustrations of any obscene, indecent, or immoral nature.
- 2.13.3** The use of garish and/or overly bright colors is uniformly prohibited. Required regulatory notices and warning signs excluded. Special consideration will be considered in regards to color selection when associated with a corporate "Brand" or Logo on a case by case basis.
- 2.13.4** All signs shall be properly maintained.
- 2.13.5** Free standing wall signs must express the construction techniques and structural constraints of traditional, lasting materials. Simple configurations and solid craftsmanship are favored over complexity or ostentation.
- 2.13.6** Exposed surfaces shall be clean and paint shall not be flaked. Signs shall be sound, kept in a vertical, upright position at all times, defective parts shall be replaced and no rubbish shall be allowed under or near any sign which could constitute a fire hazard. Signs not so maintained shall be in violation of this CDP.
- 2.13.7** A sign which requires approval by the Osceola Board of County Commissioners as a Comprehensive Development Plan (CDP) shall be issued a building permit in accordance with the plans for the sign structure which are submitted and approved. Any variation to this CDP in sign design, structure, overall size or height shall not require approval of a new CDP application, or Amendment of the original CDP.

- 2.13.8** As noted in the approved PD application, Harmony will be developed over several years. Therefore, it is probable that amendments to this CDP will be necessary. Any such amendments may be made by either the Harmony Development Company or an agent duly authorized by the previously mentioned agencies. Amendments to this CDP will be processed in a manner consistent with the approved PD.

## **SECTION 3.0 SIGNS ALLOWED AND RESTRICTIONS BY TYPE**

All signs within Harmony must have written approval from Harmony Development Company or its duly authorized agent and be in compliance with the Southern Standard Building Code. A raised circular seal bearing the Harmony Logo will identify plans approved by Harmony. This CDP does not exempt any applicants from acquiring Sign Permits or Electrical Permits that are required by Osceola County.

Within Harmony, there will be four categories of signage: temporary, major roadway, permanent signs and signage which do not require a zoning permit. These categories are further divided as follows:

### **Temporary Signs**

- a. Construction Signs
- b. Realty Offering Signs
- c. Marketing/Event Signs

### **Major Roadway Signs**

- a. These signs are located at primary focal points along the developments 8-mile frontage of Hwy 192.

### **Permanent Signs**

- a. Building Mounted Signs
  - Awning Signs

- Blade Signs
  - Building Directory Signs
  - Corner Signs
  - Flush-mounted Wall Signs
  - Performance/Marquee Signs
  - Poster Boxes
  - Projecting Signs
  - Specialty Signs
  - Under Canopy Signs
- b. Freestanding Ground Signs**
- Fence or Wall Signs
  - Monument Signs
  - Pole/Pylon Signs
- c. Iconic Entry Signs**
- d. Street Signs**

**Signage Allowed Which Do Not Require Zoning Permits**

- a. Addresses**
- b. Bus Seating and Bus Shelters**
- c. Collection Boxes**
- d. Commemorative Plaque**
- e. Flags**
- f. Government Signs/CDD Signs**
- g. Home Occupation Signs**

- h. Information Signs
- i. Memorial Signs
- j. Neon Window Signs (Interior Only)
- k. Painted Window or Door Signs (Interior Only)
- l. Personal Name Signs
- m. Professional Name Plates
- n. Realtor Signs
- o. Trail/Wayfinding Signs
- p. Warning Signs
- q. Window Signs (Interior Only)

### 3.1 Temporary Signs

Within Harmony, there will be three categories of temporary signs – construction, realty and marketing/event signs. No temporary sign shall require a sign permit. All temporary signs may be single or double-faced. Temporary signs may be placed perpendicular, parallel, or angled to the roadway.

Temporary sign posts and/or poles must incorporate ornate elements such as post caps, finials, etc. Posts may be wood, PVC/Vinyl or aluminum. The use of recycled materials is encouraged. All posts shall be white or black in color. The sign panel material must withstand the elements; therefore, exterior grade plywood must be primed, painted and sealed. The use of aluminum, PVC/vinyl, and acrylics are preferred.

Temporary signage may intrude into the Community Development District (CDD) LANDSCAPE/UTILITY (L/U) Tract with written approval from Harmony CDD. Temporary signage located along county roads with a design speed greater than 45 MPH must be setback a minimum of four (4) feet from the back of the curb, if a design speed equal to or less than 45 MPH must be set back a minimum of one (1) foot from the back of the curb. Temporary signs may be located within CDD LANDSCAPE/UTILITY (L/U) Tract medians if the supports do not



exceed six (6) inches by six (6) inches, and the foundation for the support does not extend into the ground more than three (3) feet.

### 3.1.1 Temporary Construction Signs

- a. **Project/Place**-These are identified as any or all of following: Project Name, Contractor, Architect, Engineer, other consultants, "The Company Name" and logo. Maximum size shall be thirty-two (32) square feet and maximum height shall be no more than ten (10) feet. Removal is required within 30 days following CERTIFICATE OF OCCUPANCY (C. O.) for building or 15 days after construction operations cease on infrastructure projects. Limit (1) per frontage, print should be in uniform color and each may be double fronted. These shall be placed on-site.
  
- b. **Warning Signs**- These provide a warning message to include "No Trespassing", "Authorized", and "Construction Area", Warning message printed in uniform text. "The Company Name" and logo. Maximum size shall be fifteen (15) square feet and maximum height shall be ten (10) feet. Removal is required within 30 days following CERTIFICATE OF OCCUPANCY (C. O.) for buildings or 15 days completion operations cease on infrastructure projects. Limit one (1) per site per road frontage excepting residential. If residential, then one per project entrance is allowed. Print is uniform in color. These shall be placed on and off-site.

### 3.1.2 Realty Offering – provides the regulatory criteria for realty signs.

- a. **Realty Offering "A"**-Provides information on real estate for sale within Harmony. Includes name of builder, lot or tract number and/or size, and other sales relevant information. In residential, the number of lots for sale may be advertised and may include a logo. See illustration E-21. Maximum panel size shall be thirty-two (32) square feet and maximum height shall be ten (10) feet. Removal is required within 30 days following closing for the advertised tracts. Limit is one (1) per site per arterial or greater roadway frontage. These shall be placed on-site.

- b. **Realty Offering “B”**-Provides information on real estate for sale within Harmony. Includes name of builder, lot or tract number and/or size, and other sales relevant information. In residential, the number of lots for sale may be advertised and may also include logo. See illustration E-22. Maximum panel size shall be fifteen (15) square feet and maximum height shall be ten (10) feet. Removal is required within 30 days following closing for the advertised tracts. Limit is one (1) per site per arterial or greater roadway frontage. These shall be placed on-site.
  
- c. **Realty Offering “C”**-Identifies a real estate lot, and if desired, the owner or a builder authorized to construct on the lot. May include submission name or “Town of Harmony” logo. See illustration E-23. Maximum panel size shall be two (2) square feet and maximum height shall be four (4) feet. Removal is required within 30 days following certificate of occupancy. Limit is one (1) per lot and these shall be placed on-site.

### 3.1.3 Marketing/Event Signs

There are four types of Marketing/Event Signs

- a. **Banners** – Banner signs may be used to display a marketing message or to announce an event. A banner sign may be used on a temporary basis not to exceed 60 consecutive days. Banner signs may be suspended from the front of a building, or attached to freestanding post in such a way that neither pedestrian nor vehicular traffic is impeded. Up to four banner signs may be erected to a single structure. Banner signs may not be installed in such a manner as to obstruct line of sight for public safety. Banner signs suspended over CDD LANDSCAPE/UTILITY (L/U) Tracts must have a vertical clearance of eight (8) feet over sidewalks. The maximum copy area for a banner sign is sixty-four (64) square feet. Banners displayed from a light pole shall be categorized as a flag and must have a vertical clearance of twelve (12) feet.
  
- b. **Community Event Sign** – Community event signs may announce an event and provide directional information for that event. A community event sign may be anchored into the ground. Community event signs cannot exceed 15 square feet

and may only be used for a maximum of sixty (60) consecutive days. Community event signs have a maximum height of seven (7) feet.

**c. Political Campaign Signs** – Political campaign signs are allowable as follows:

- Maximum size of thirty two (32) square feet with a maximum height of six (6) feet. The minimum vertical clearance is two (2) feet.
- On private property only, with property owner's consent.
- May be displayed forty-five (45) days prior to the last day of filing for elective office and thirty (30) days before any referendum.
- Must be removed within seven (7) days after the election for which they are intended.
- Notwithstanding anything in this CDP to the contrary, any sign placed in violation of this paragraph shall be removed within twenty four (24) hours of notification by the Osceola County Zoning Official, his/her designated agent, or the Harmony CDD.
- Placement, usage and removal must be in accordance with 106.1435 Florida Statutes.

**d. Sandwich Boards** – Sandwich boards, either on CDD or private property may be used for announcements or to provide direction to shops off of the main sidewalks.

- Sandwich boards cannot interfere with pedestrian traffic and should be removed from the sidewalk when the business is closed. Sandwich boards may be double sided, but they cannot exceed ten (10) square feet per side with a maximum height of four (4) feet. A sandwich board must be located within sixteen (16) feet of the front door of the establishment it is advertising.

### **3.2 Major Roadway Signage (HWY 192)**

This Section establishes the general zoning regulations pertaining to the approval of eight (8) Major roadway Signs located along the 8 miles of hwy 192 frontage within the Harmony DRI.

These signs are located at primary focal points and main entrance roadways intersecting with hwy 192 throughout the project which are intended to advertise the project, as well as items that are not project specific. The maximum sign panel is limited to one-hundred (100) square feet and a maximum sign height of twenty (20) feet. A minimum setback of ten (10) feet from FDOT right-of-way is required.

In so much as the primary use of these signs are for project marketing, the text and/or graphics on the signs may change from time to time. In addition, the signs may be illuminated so as to be visible at night. See Illustration E-15.

### 3.3 Permanent Signs

All of the signs in this section will require written approval of The Harmony Development Company or its duly authorized agent. Signs that are exempt from permitting by other County regulations are not exempt from review and approval by the Harmony Development Company or its duly authorized agent. Permanent signs approved for Harmony are identified below.

#### 3.3.1 Building Mounted Signs

The types of commercial signs and their limitations, including maximum sign size, are identified below:

For each building façade or façade segment a combination of building mounted sign types may be utilized of which will count against the total allowable building signage calculation.

The bottom of any sign extending out past the structure which it is attached must be at least eight (8) feet above the sidewalk/finished grade and may protrude into the CDD LANDSCAPE/UTILITY (L/U) Tract not more than eight (8) feet. The top of the sign shall be no more than 15 feet above the sidewalk/finished grade but in no case shall extend above the parapet or eaves of the façade on which it is located. Signs projecting over a CDD LANDSCAPE/UTILITY (L/U) Tract shall require written permission by the CDD or its duly authorized agent prior to county approval.

- *Awning Signs* – Buildings without arcades may have fabric awnings. The copy area cannot exceed eighty (80) percent of the total awning surface area. Signage calculations for awnings are determined by measuring from edge to edge of sign message and multiplying by the height of the tallest letter. Awnings must have a minimum eight (8) feet of vertical clearance from the sidewalk. Awnings may protrude into the CDD LANDSCAPE/UTILITY (L/U) Tract not more than eight (8) feet.
- *Blade Signs* – Blade signs mount to building facades and will typically include decorative cast or wrought iron brackets. Wood panel signs are allowed. Blade signs may be double sided. They cannot exceed twelve (12) square feet per side and must have a minimum eight (8) feet of vertical clearance from the sidewalk. Blade signs may protrude into the CDD LANDSCAPE/UTILITY (L/U) Tract not more than eight (8) feet.
- *Building Directory Signs* – Building directory signs are limited to a maximum of six (6) square feet and shall be attached to the building surface at a maximum height of eight (8) feet to be read from on-site.
- *Corner Signs* – Corner signs for corner buildings may either wrap the corner or project out like a blade sign and be visible from two directions. These signs may be cut panels or cut shapes. Corner signs cannot exceed 80 square feet which must be included as part of the total allowable flush-mounted building wall signage. A minimum of an eight (8) foot vertical clearance is required and may protrude into the CDD LANDSCAPE/UTILITY (L/U) Tract not more than eight (8) feet. See illustration E-9.
- *Flush-mounted wall signs (Building wall)*. For each building façade or façade segment, the combined total area of all flush-mounted building wall signs per building side shall not exceed 1.25 square ft of sign area for each one linear foot of façade or façade segment width up to 100 linear feet, plus one-half square foot for each additional one linear foot of width. See illustration E-5.
- *Performance/Marquee Signs* – Performance/Marquee signs are allowed for specific uses within Harmony. Marquee signs may be used with buildings

that have a primary use of theater, civic center, or performing arts center. Performance/Marquee signs include: See illustration E-18.

Performance/Marquee Signage – Cannot exceed 1,400 square feet.

Marquee Logo – Cannot exceed 60 square feet

Building Signage – Cannot exceed 360 square feet

Sign Height – Cannot exceed 20 feet

Any combination of the above three (3) types may be used on a theater, civic center, or performing arts center provided that the total signage does not exceed 1,400 square feet.

Performance/Marquee signs may be wrap around signs or signs parallel, angled, or perpendicular to a street. Performance/Marquee signs must have a minimum eight (8) feet of vertical clearance from the sidewalk.

Performance/Marquee signs may protrude into the CDD LANDSCAPE/UTILITY (L/U) Tract.

- *Poster Boxes* – In conjunction with Performance/Marquee literative announcing or advertising specific events, activities, or performances are allowed. See illustration E-18.
  
- *Projecting signs* - May be double sided, mounted to building facades and will typically include decorative cast or wrought iron brackets and ornate elements.

In addition to allowable sign area for flush mounted wall signs, buildings may incorporate conventional projecting signs or blade signs, but not both, subject to the following:

For each building façade or façade segment there shall be a maximum of one conventional projecting sign or blade sign of up to twelve (12) square feet. A single building façade or façade segment may have a projecting or blade sign and an awning sign. The bottom of any projecting or blade sign shall be at least eight (8) feet above the sidewalk/finished grade and may protrude into the CDD LANDSCAPE/UTILITY (L/U) Tract not more than eight (8) feet. The top of the sign shall be no more than 15 feet above the sidewalk/finished grade but in no case shall extend above the parapet or eaves of the façade on which it is located. Signs projecting over a CDD LANDSCAPE/UTILITY (L/U) Tract shall require written permission by the CDD or its duly authorized agent prior to county approval.

- *Specialty Signs* – Will be limited within the Town Center commercial area and will be allowed when deemed appropriate to the type of business and the architectural style of the building. Examples include, but are not limited to, Mosaic, three-dimensional (3-D) and animated signs. A specialty sign's size will be determined by multiplying the two largest dimensions. Any part of a specialty sign that is not three-dimensional (3-D) or animated shall be added to the result of this multiplication. Specialty signs are limited to 100 square feet. Specialty signs protruding over the CDD LANDSCAPE/UTILITY (L/U) Tract and must have a minimum eight (8) feet of vertical clearance and may protrude into the CDD LANDSCAPE/UTILITY (L/U) Tract not more than eight (8) feet.
- *Under Canopy*– Signs may be double sided and may not exceed four (4) square feet per side and must have a minimum eight (8) feet of vertical clearance from the sidewalk and may protrude into the CDD LANDSCAPE/UTILITY (L/U) Tract not more than eight (8) feet.

### **3.3.2 Freestanding Ground Signs.**

- a. In addition to the allowable number of building-mounted signs, freestanding commercial signs including signs mounted on fences and freestanding walls and freestanding monument signs, pole signs, and pylon signs, along non-residential street frontages shall be allowed subject to the regulations in this

subsection. The maximum number, height, and area of such signs are listed below.

- b. *Number of signs allowed.*** Where a commercial lot contains a single business, one freestanding sign shall be allowed for sites with frontage of 300 feet or less. For sites with more than 300 feet of frontage, two (2) signs will be allowed. Where a commercial lot contains more than one business, either a single freestanding business sign or a single joint tenant sign shall be allowed.
  
- c. *Maximum sign heights and setbacks.*** The freestanding sign height shall not exceed fifteen (15) feet in height (except as provided elsewhere within this CDP). All freestanding signs shall maintain a minimum ten (10) feet setback from the county and/or FDOT right-of-way and all signs shall be set back from any adjacent property lines a minimum of five (5) feet except that signs adjacent to a common line shared by a residential use district shall be set back from that lot line a minimum of 30 feet.
  
- *Fence or freestanding wall sign.* Any sign supported on a fence or supported on a freestanding wall or retaining wall, other than a monument sign shall have a minimum setback of three (3) feet from the back of curb when utilized as a subdivision/neighborhood sign and a setback of five (5) feet for all others. Maximum thirty-two (32) square feet of message copy and a maximum height of eight (8) feet.
  
- *Monument sign.* A type of freestanding sign that is secured to a solid base resting on the ground with permanent structural footings. Maximum 100 square feet per side. See illustration E-17.
  
- *Pole or pylon sign.* A type of freestanding sign with the message area of the sign elevated above grade by means of one or more poles or pylons with permanent structural footings. Maximum 100 square feet per side. See illustration E-17.



**3.3.3 Iconic Entry Signs** – One entry sign may be installed at each of the main entrances to be constructed along the 192 corridor and may be placed within the CDD LANDSCAPE/UTILITY (L/U) Tract with a minimum setback of one (1) foot from the back of curb (B.O.C.). Each Icon Entry Sign may include up to fifty-six (56) sq' of copy area per side with a maximum of four (4) sides. Maximum overall height is limited to thirty-five (35) feet and requires a minimum setback of fifteen (15) feet from the FDOT right-of-way. See illustration E-12.

**3.3.4 Street Signs** - Street signage may include the following. See illustration E-25

- a. Decorative street signage, to include street name and borders.
- b. Fabricated aluminum design brackets
- c. Street icon, such as the Harmony logo or other, mounted above the street name and attached to the street sign or mounted elsewhere on the same pole.

#### **3.4 Signs Allowed Which Do Not Require Zoning Permits**

**3.4.1** The following types of signs are exempt from County permit requirements, and shall not be counted in determination of allowed signage, but must have written approval from The Harmony Development Company or its duly authorized agent.

- a. *Collection Boxes* – Collection boxes must be located on private land or CDD property.
- b. *Commemorative Signs* – Commemorative signs shall be mounted or attached to a building.

- c. *Flags* – Flags are restricted to an aggregate maximum size not to exceed the total square feet of signage allowed per building in the applicable sign district, and are to be displayed according to state regulations or standards. The maximum number of flags allowed is three (3) flags, one of which may be a corporate flag. Flag size should not exceed 240 square feet. The pole to which the flag is attached is not exempt from the provisions of the Southern Standard Building Code.
  
- d. *Government Signs* – Government signs may be erected and maintained by a Community Development District or other government entity.
  - **CDD Directional/Directory Signs** – Directional/Directory signs may be installed on collector or higher classification roadways. Directional/Directory signs may be installed in a roadway median or elsewhere within the CDD LANDSCAPE/UTILITY (L/U) Tract. Directional/Directory signs will be single or double pole mounted and centered. The maximum sign size is 18 square feet and the maximum height is seven (7) feet. The bottom of directional signs must be located 3'-0" from grade. The sign copy area cannot exceed seven (7) feet vertically, with an additional six inches above for a finial. See illustration E-6.
  
- e. *Home Business Signs* – Home business signs are allowed only where home occupations are permitted. The building signs must be erected flat against the surface of the building façade, and shall not exceed a maximum of four (4) square feet in size.
  
- f. *Memorial Signs* – Memorial signs shall be used for commemorative purposes, and shall contain no advertising.
  
- g. *Neon Window Signs* – Non-flashing illuminated signs inside of business windows do not require a County permit.

- h.** *Personal Name Signs* – Personal name signs are allowed at private residences. They shall not exceed two (2) square feet in size.
- i.** *Professional Name Plates* – Professional name plates are allowed on-site at businesses and shall not exceed one (1) square foot in size.
- j.** *Trail/Wayfinding Signs* – Trail/Wayfinding signs will depict an icon, destination, plant species, interpretive information and/or distance. The icon will indicate the type of activity that is being referenced e.g. golf, nature trail, running trail, etc. The destination will reference a park, building or other location. The plant species will identify the name and characteristics of an adjacent plant. An interpretive sign will provide information on surrounding wildlife, vegetative communities, and unique development activities. The distance will refer to miles, or fraction thereof, to the referenced activity. Trail signs will not exceed ten (10) square feet, or a height of six (6) feet. Trail signs are to be mounted on wood or metal supports adjacent to sidewalks or trails. See illustration E-26, 27, 28, 29, & 30.
- k.** *Warning Signs* – Permanent warning signs will provide a warning message to the public. Warning signs are limited to a maximum of 15 square feet and a height of five (5) feet. Such warnings include, but are not limited to, the following: See illustration E-32.

  - a. No Trespassing
  - b. Protected Wetlands
  - c. Alligators
  - d. Reclaimed Water
  - e. No Fishing
  - f. NEV Vehicles in Use

- I. *Window Signs* – Window signs shall not be measured as wall signage, and shall not count against the total allowable wall signage for a building. Window signs may be painted on, affixed to, or suspended within the window frame to be viewed from the outside. (Interior Only) Window signs cannot exceed twenty percent (20%) of the window/glass square footage. The window frame will not be included as part of the square footage calculation. Multiple windows within the same tenant space cannot apply the combined square footage to a single window sign. Each window shall be calculated separately. The Harmony Non-Residential Owners Association may have more stringent rules which may further limit the afore mentioned.

## **SECTION 4.0 SIGNS PROHIBITED**

All signs are prohibited that by their size, location, construction, content or manner of display are not aesthetically pleasing, endanger the public safety of individuals, confuse, mislead, obstruct the vision necessary for traffic safety, or otherwise endanger public health, safety, or welfare.

Any type of private residential yard sale, garage sale or similar notice that may be prohibited within the master residential owners association and/or non-residential owners association.

## **SECTION 5.0 NON-CONFORMING SIGNS**

- 5.1 All signs or advertising structures which lawfully existed and were maintained at the time this CDP became effective may be continued, such structures do not conform to the provisions contained herein, provided that no structural alterations are made.
- 5.2 No conforming sign or sign structure shall be permitted to be erected for the same site with an existing non-conforming sign until the non-conforming sign has been removed from the same site or made conforming.

- 5.3** No permit shall be issued to change the size, design or structure of a non-conforming sign, except to bring the sign into compliance with this CDP.
- 5.4** A non-conforming sign shall cease to be allowed, and shall be in violation of this CDP if any of the following events occur:
- a.** A sign that has had the status of an abandoned sign for more than ninety (90) days, unless within that time period the business advertised by the sign has applied for a building permit, other development approval, or manifested some other affirmative act, other than merely obtaining an occupational license, which evidences an intent to revive said business.
  - b.** A sign which, by destruction, obsolescence, or from any other cause, or a sign which is or becomes a hazard or danger, and cannot be repaired for less than fifty (50) per cent of its structural value.
  - c.** A sign which has been found to be in violation of any section of this CDP, and the facts giving rise to the violation have occurred (installed) after the effective approval date of this document.
  - d.** A sign which, needing repair, cannot be properly repaired without affecting the structural integrity of the sign.

## SECTION 6.0 ENFORCEMENT

- 6.1** Except as otherwise provided for herein, any sign that is not in compliance with this CDP or County regulations unaffected by this CDP, or any sign that is erected which is prohibited by this document shall be deemed to be in violation and punishable as provided for in §125.69 Florida Statutes. (2007).
- 6.2** Notwithstanding the provisions of above Statue §125.69 (2007), when there is reasonable grounds to suspect that a violation has occurred, the Osceola County official responsible for enforcement thereof may elect to refer any violation of this CDP to the Code Enforcement Board, or issue a citation, as provided for in Chapter 162 Florida Statutes (2007). For purposes of §162.06 Florida Statutes (2007) the following time limits shall govern:
- a.** Signs which are determined by the applicable inspector to be in violation of this CDP and which are not unsafe signs shall be given a notice of violation and shall be given a reasonable time, not to exceed thirty (30) days, to bring the sign into compliance with this document. If the sign is not brought into compliance within that time, the inspector shall cite the violation to the Code Enforcement Board pursuant to §162.06 Florida Statutes (2007).
  - b.** Sign which are determined by the applicable inspector to be in violation of the CDP, and which are unsafe shall be considered to be a serious threat to the public health, safety and welfare, and shall be given a notice of violation and shall be given twenty-four (24) hours in which to bring the sign into compliance. If the sign is not brought into compliance within the determined twenty-four (24) hours, the inspector shall cite the violation to the code Enforcement Board pursuant to §162.06 Florida Statutes (2007).
- 6.3** The determination of whether a sign is in compliance for the purpose of correcting a notice of violation shall be made by the inspector following a re-inspection. A re-inspection will be scheduled upon the violator or his authorized agent appearing in the office responsible for issuing the violation and upon the payment of a re-inspection fee. Re-inspection for a violation involving a sign erected without a permit shall be scheduled upon the appearance of the violator or his authorized agent in the office responsible for the violation and upon the payment of the permit fee and the re-inspection fee. The re-inspection fee will be based on when the violation is corrected as follows:

- a.** If compliance is achieved within ten (10) days of the initial notice of violation being issued by the inspector, the re-inspection fee will be equal to ten (10) percent of the permit fee for the sign.
- b.** If compliance is achieved more than ten (10) days after the initial notice of violation being issued by the inspector, but at least seven (7) days prior to the case being heard by the Code Enforcement Board, the re-inspection fee will be equal to twenty-five (25) percent of the permit fee for the sign.
- c.** If the time limits in paragraphs 1 or 2 above are not met, but compliance is achieved prior to the violation being considered by the Code Enforcement Board, the re-inspection fee will be equal to fifty (50) percent of the permit fee for the sign.
- d.** If compliance is not achieved prior to the violation being considered by the Code Enforcement Board, and a violation is found to exist, the re-inspection fee will be an amount equal to the permit fee for the sign.
- e.** Notwithstanding any other provisions in this CDP to the contrary, there shall be a minimum re-inspection fee.

## SECTION 7.0 DEFINITIONS

For the purpose of this CDP, the following words have the following meaning, unless the context clearly indicates otherwise. Words used in the present tense include the future tense; words used in the singular include the plural and words used in the plural include the singular. The word “shall” is always mandatory. The word “person” includes firm, association, organization, partnership, trust, company, or corporation as well as an individual. If a word is not specifically defined in this section, the standard dictionary definitions(s) will be used.

### Abandoned Signs

Any sign which advertises a business, or other entity, which is located on the same site as the sign, and which has been closed, out of business, or otherwise not in existence for more than ninety (90) days.

### Advertising Display Area (Sign Area)

The total cumulative sign area for all signs which are supported by, and part of the same sign structure. Where two or more signs share the same framing, trim, or molding, said framing, molding, or trim shall compute only once in calculating the Advertising Display Area. Similarly, for double faced signs, only one copy area shall be counted in calculating the advertising display area; providing, such sign does not have greater than a 45° angle measured from the apex. If the angle is greater than 45°, each sign area shall be counted separately.

### Animated Signs

A type of specialty sign that is designed to create the illusion of motion.

### Awning

A sheltering screen extending over or before any building, door or window which provides shelter or protection against the weather, except as provided for herein, the term shall include any canopy, roller curtain or umbrella.



### Awning Sign

Any sign painted, stamped, perforated or stitched on the surface of an awning, canopy, roller curtain or umbrella. See illustration E-1.

### Banner Signs

Temporary signs either with or without frames, possessing characters, letters, illustrations or ornamentations applied to cloth, paper or fabric of any kind, which is intended to market a product or advertise an event. See illustration E-2.

### Blade Sign

A permanent sign mounted on the side of a building with a bracket to advertise the establishment within. See illustration E-3.

### Building Frontage (Façade Segment)

The wall of a building that contains the main entrance. If there is more than one wall that contains a main entrance, then "Building Frontage" shall be the shortest of those walls. Where buildings have been divided for more than one use, "Building Frontage" shall be based on that portion of the building delegated to the individual use therein, and which contains the main entrance for that use. If a portion of said building is vacant, then that portion of the building reserved for a future use and containing the main entrance for that use shall not be allowed in any calculation of "Building Frontage." See illustration E-5.

### Building Official/Zoning Official

As used herein, shall also mean the County Manager or his designee.

### Flush-mounted Building Wall Sign

A sign fastened to or painted on the wall of a building or attached in such a manner that the wall becomes the supporting structure for, and forms the background surface of the sign and which does not project more than 12 inches from such building. See illustration E-4.

### Changeable Copy Sign

A sign on which the copy can be changed, rearranged or altered, either manually or through electronic means, without changing the face of the sign. The term shall include electronic message centers and lampbank displays.

### Collection Box

Drop-off boxes for donations for charitable or non-profit organizations which contain no advertising other than the name of the charitable or non-profit organization.

### Commemorative Plaque

A type of memorial sign, identifying the name of the building or its date of erection, which is cut into any masonry surface, or constructed of a permanent or non-combustible material mounted on the face of a building. The commemorative plaque may also contain the names of individuals associated with or commemorated by the building. A commemorative plaque shall not be counted against sign square footage.

### Community Development Districts (CDD)

A Community Development District or CDD shall mean the Harmony CDD, Harmony West CDD or Harmony Central CDD (Hereafter CDD).

### Event Sign

A temporary sign advertising sales or personal property by not-for-profit organization and events such as carnivals, festivals, bazaars, movie night, art fair and craft shows. See illustration E-8.

### Comprehensive Development Plan (CDP)

Shall have the same meaning as that used within the Zoning Regulations for Osceola County.

### Copy Area (Sign Face)

The area or display surface used for the message on a sign, which does not include the framework or support for the sign.

### Corner Sign

A permanent sign attached to a building on a corner lot that may either wrap the corner of the building or project out at the corner to be visible from two directions. See illustration E-9.

### Directional Sign

An on-site sign giving directions, instructions or facility information and which may contain the name or logo of an establishment, but shall have no advertising. Both temporary directional signs for construction purposes and permanent directional signs are allowed within each type of directional sign having different restrictions as noted herein. See illustration E-6.

### Directory Sign

Sign that gives the name, occupation, and location of occupants of a building and is primarily designed to be read from on-site.

### District

A geographic area designated by the Harmony PD and utilized by this CDP for the purpose of regulating the signage to be allowed therein so that it will support and complement the objectives of the various land use districts within Harmony and the Osceola County Comprehensive Land Use Plan.

### Electronic Message Center

A sign comprised of independent light bulbs arranged in a lampbank controlled by a programmable computer.

### Flag

Usually constructed of fabric, used to display the emblem/Logo of a municipality, county, state, or country; or of a business, firm, company, or charitable non-profit organization. The term does not include the pole upon which a flag is mounted. When displayed in the same manner as a flag, the term shall include pennants and banners.

### Government Sign

Any sign erected and maintained by any Community Development District (CDD), Osceola County, the State of Florida, or the United States Government, and which is deemed necessary by that government for the health, safety and welfare of the public. Examples include official traffic signage, street signage, and regulator signage. See illustration E-6.

### Home Business Sign

A sign that identifies a home occupation or business.

### Iconic Entry Sign

A specialty sign of substantial size and form which displays advertising and community information. See illustration E-12.

### Illuminated Sign

A sign that incorporates an artificial light source either internal or external to the sign, for the purpose of illuminating the sign. See illustration E-11 & E-14.

### Indirect Lighting

Lighting which is not an integral part of the sign, but which is attached to the sign and directed toward the sign to provide illumination of the advertising message. See illustration E-11.

### Information Name Plate

A sign designating the office of a professional practice, and which indicates the names of the person or persons and the nature of the professional practice.

### Inverse Illumination

The complete illumination of a lampbank, except for the character of the message which are not illuminated.

### Lampbank Display

Any arrangement of lights affixed to or made a part of a sign, where all or part of the advertising message is created by illuminating the lights, either by electronic or other means, in various patterns to show words, characters, or images of any kind.

### Major Roadway Sign

Marketing signs are located at primary focal points and main entrance roadways intersecting with Hwy 192 throughout the project. The general location, size and design are regulated by this CDP. See illustration E-15.

### Marquee Signs

A "marquee" is most commonly a sign structure placed over the entrance to a performance and/or theater. It has signage stating the name of the establishment or, in the case of theatres, the play, theatre or film/movie and the artist(s) appearing at that venue. See illustration E-18.

### Memorial Sign

A sign commemorating an event, person, or building, which may contain information of a historical or biographical nature concerning the thing commemorated, but which contains no advertising.

### Menu Sign

A sign associated with drive-thought or carry out services, which carries only the name of any establishment and the current list and prices of goods or services available in the establishment and not intended to be viewed from any public right-of-way.

### Minor Identification Sign

An additional pole/pylon or ground sign which may be permitted for a business situated on “out parcels” within a “shopping center.”

### Mobile Sign (Trailer Sign)

A sign intended for use with or without changeable type lettering, illuminated or non-illuminated, mounted on a transportable trailer, frames, or any vehicle with or without wheels. The term shall not include commercial vehicles that contain advertising but are not intended to remain stationary as signs, so long as, they remain stationary for long periods of time, and is intended to act as a sign shall be considered a mobile sign for the purpose of this CDP.

### Monument Sign (Ground Sign/Pylon Sign)

A monument sign which may be either an entry sign or a commercial sign independent of support from any building, and which is supported by a structure or supports so that the bottom of the sign rests upon the ground. See illustration E-17.

### Mosaic Sign

A type of specialty sign that is comprised of small tiles that form an image and are constructed as an integral part of a wall surface.

### Multi-Tenant Building

Any business or group of businesses under a common roof. See illustration E-5.

### Mural

A mural is a painting or artistic design applied to and made an integral part of a wall surface.

### Neon Signs

A sign constructed of internally lit glass tubes that contain inert gas that is intended to display names or logos and or advertise products.

### Non-Conforming Sign

Any sign which was lawfully erected but does not comply with the land use, setback, size or lighting provisions of this CDP or which later fails to comply due to changed conditions.

### Off-Site Sign

A sign structure advertising an establishment, merchandise, commodities, accommodations, services or entertainment which are not sold, produced, manufactured, or furnished at the site on which the sign is located.

### On-Site Sign

A sign relating, in its subject matter, to commodities, accommodations, services or activities offered at the site on which the sign is located.

### Osceola County

Osceola County, a Florida Political Subdivision.

### Out Parcel

A legally defined piece of land which was created from a parent tract containing a larger development, and which is developed separately from, and on a smaller scale than, the larger development.

### Painted Window or Door Sign

Signs painted on, or affixed to, the glass surface of windows or doors and pertaining, in their context, to the lawful business conducted therein.

### Parapet Sign

A permanent sign that projects from the roof of a building or structure and is aligned with the facade of the building.

### Performance/Theater Sign

A sign to be located above the entrance and/or ticket box office of community performing arts center and/or theater. These signs may have a changeable copy area to display names of performances taking place at venue. See illustration E-18.

### Permanent Sign

A sign that is attached to or painted on a permanent structure, whether it be a building, wall, pier or the ground. A permanent sign is to be constructed in a manner that is in accordance with County regulations unless otherwise specified herein.

### Permit

Permit means a Sign and/or Electrical Permit, issued by the Building Department of Osceola County, subject to compliance with this CDP.

### Personal Name Sign

A sign that is used to identify a person or persons dwelling in a residence.

### Political or Campaign Sign

A temporary sign erected to advocate a political party, issues, or individuals for elective office.



### Poster Box Signs

Poster boxes are transparent housing devices used to protect advertisement posters from the weather. The advertisements within poster boxes are changeable. See illustration E-18.

### Project/Place Sign

A temporary sign that is displayed on the site only during the time of actual construction work and indicates the ultimate character of the development or the names of the firms, individuals, or material suppliers involved in the work. See illustration E-19.

### Realty Offering

A sign of a temporary nature which is intended to offer, for sale, lease, or rent, the exact property upon which the sign is placed. See illustration E-21, 22 & 23.

### Repairs or Maintenance of Signs

The cleaning, painting, repair or replacement of defective parts of a sign in a manner that does not alter the size, design, or structure of the sign. The term shall include the change in appearance or replacement of the sign face.

### Replacement of Signs

Replacement shall mean the rebuilding, enlarging, or change of the size, design, or structure of the sign, other than repairs or maintenance of signs. The term shall include the change in appearance or replacement of the sign face.

### Sandwich Board (A-Frame)

A temporary movable sign located along sidewalks within the property lines (or between the building frontage and right of way) advertising the services provided by the adjacent establishment. See illustration E-24.

### Setback

The minimum horizontal distance from a given point or line of reference, which, for purposes of this Code unless otherwise stated, shall be the back of curb (B.O.C.) and/or lot line, to the nearest edge of a building or structure, fence, or other elements as defined. See illustration E-7.

### Shopping Center

Any business or group of businesses under common roof or several buildings approved as one development on one parcel of land with a minimum of 50,000 square feet of gross floor area.

### Sign

Any object, device, display, structure, or part thereof, or character, whether animate or inanimate, situated outdoors or indoors, which is used to advertise, identify, display, direct or attract attention to an object, person, institution, organization, business, product, service, event or location by any means including words, letters, figures, design, symbols, fixtures, colors, illumination or projected images. The term shall include, but not be limited to, any permanently installed or situated merchandise, or any emblem, painting, flag, banner, pennant, festoon, placard or lighting, when the intent of said lighting is to act as a sign. The term shall not include murals or artistic designs painted on the wall of a building, unless the design includes logos, or any other element that is so uniquely identified with the business conducted on that parcel, or any other parcel, that its intent is to advertise said business.

### Sign Height

The vertical distance measured from the highest point of the sign to the crown of the road or sidewalk it is intended to serve.

### Sign Structure (Sign Support/Sign Framework)

Any single structure which may contain any combination of one or more separate signs, which are all supported by and attached to said structure.

### Specialty Signs

Permanent signs with a unique design, including but not limited to: mosaics, three-dimensional signs and animated signs.

### Street Sign

A permanent sign that displays the name(s) of a street(s). See illustration E-25.

### Structure, Change of

Any activity which includes any alteration to the supporting structure of the sign, fastening anything to the support structure by any means whatever, detaching anything from the supporting structure by any means whatever, any change whatever to the braces, frames or attachments of a sign, or any other activity is determined by the Building Official for Osceola County to be a change of structure.

### Suspension Sign

A sign that consist of a post and arm that the sign face is attached to with a fixed supporting bracket. (See "Blade Sign"). See illustration E-3.

### Temporary Sign

A non-permanent sign erected and maintained for a specific and limited period of time.

### Trail Sign/Wayfinding

A permanent sign located adjacent to trails and sidewalks intended to indicate the location of specific activities/facilities, such as tennis courts, and may include the distance to the activity/facility. See illustration E-26, 27, 28, 29, & 30.

### Under Canopy Sign

A sign which is attached to the underside of a permanent canopy, which is perpendicular to the building frontage, and which is intended for advertising, or other message directed toward pedestrians. See illustration E-31.

### Vertical Clearance (Sign Clearance)

The smallest vertical distance between the lowest point of any sign, excluding framework and supports, and the pedestrian or vehicular surface directly beneath said sign. (See illustration)

### Warning Sign

A type of Government Sign installed on CDD property for the purpose of noting laws and regulation, and/or providing messages of danger or caution. Warning signs may be either temporary or permanent; however, the two types have different restrictions as noted herein. See illustration E-32.

### Window Sign

A sign installed inside of a window and intended to be viewed from the outside. See also Painted Window Signs and Neon Window Signs.

## **Section 8.0 Example Sign Specifications (following pages)**

COPY

# AWNING SIGN

## Example of Permanent Commercial Signage

### Sign Width

Maximum: 80% of awning surface area

### Sign Height

Maximum: N/A

### Vertical Clearance

Minimum: 8'-0" over sidewalk

### CDD L/U Tract Encroachment

Maximum: 8'-0" from building wall



COPY

# BANNER SIGN

## Sign Panel

Maximum: 64 sq'

## Vertical Clearance

Minimum: 8'-0"



## Example of Marketing/Event Signage

## Light Pole Banner

Maximum: 12 sq' per side

## Vertical Clearance

Minimum: 12'-0"



E-2

**COPY**

# **BLADE SIGN**

**Example of Permanent Commercial Signage**

## **Sign Panel**

**Maximum: 12 sq' per side**

## **Sign Height**

**Maximum: 15' - 0"**

## **Vertical Clearance**

**Minimum: 8'-0" over sidewalk**



COPY

# BUILDING WALL SIGN

Example of Permanent Commercial Signage



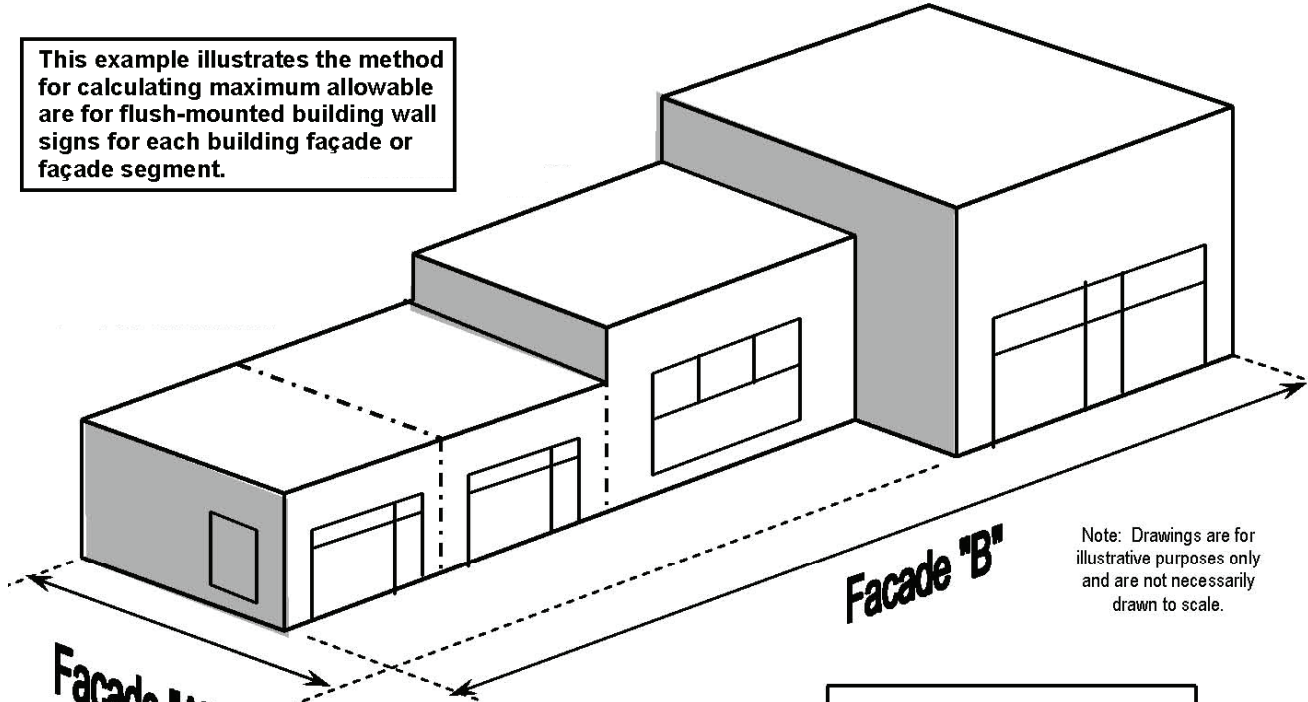


COPY

# BUILDING WALL SIGN EXAMPLE

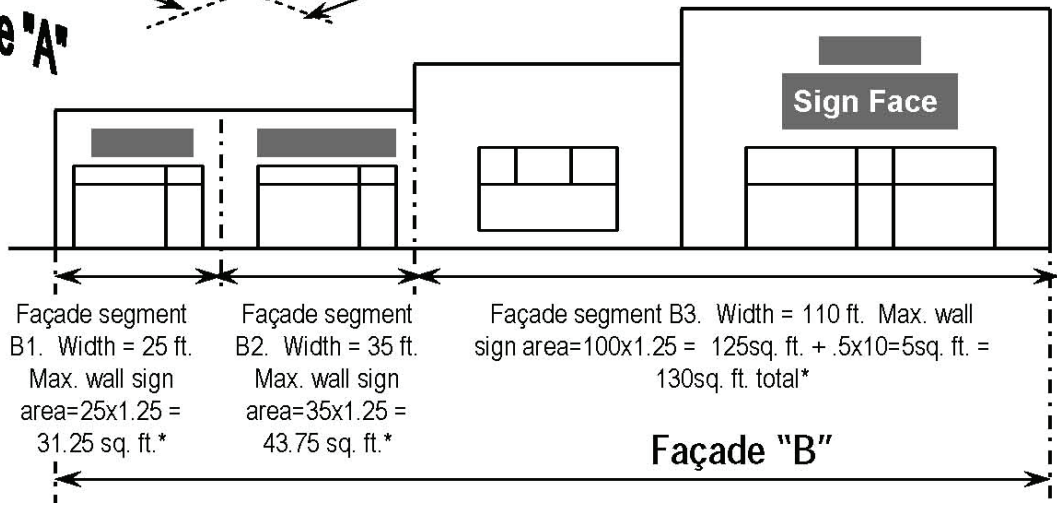
## CALCULATING BUILDING-WALL SIGN AREAS

This example illustrates the method for calculating maximum allowable area for flush-mounted building wall signs for each building façade or façade segment.



All building widths shall be measured from standard architectural elevations. Façade widths are measured at the ground level and each elevation is allowed its own sign area. Where party walls divide a single structure, each section between walls containing separate ground floor businesses shall be considered as a separate façade segment subject to its own sign area calculations.

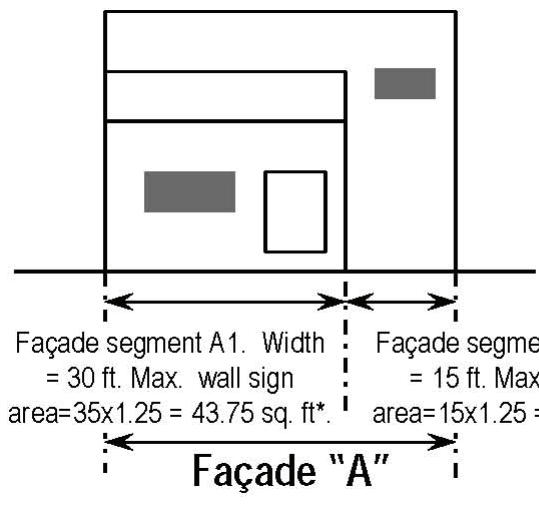
Note: Drawings are for illustrative purposes only and are not necessarily drawn to scale.



Façade segment B1. Width = 25 ft. Max. wall sign area =  $25 \times 1.25 = 31.25$  sq. ft.\*

Façade segment B2. Width = 35 ft. Max. wall sign area =  $35 \times 1.25 = 43.75$  sq. ft.\*

Façade segment B3. Width = 110 ft. Max. wall sign area =  $100 \times 1.25 = 125$  sq. ft. +  $.5 \times 10 = 5$  sq. ft. = 130 sq. ft. total\*



Façade segment A1. Width = 30 ft. Max. wall sign area =  $35 \times 1.25 = 43.75$  sq. ft.\*

Façade segment A2. Width = 15 ft. Max. wall sign area =  $15 \times 1.25 = 18.75$  sq. ft.\*

COPY

# CDD DIRECTIONAL/DIRECTORY SIGN

CDD Signage Standard

## Sign Panel

Maximum: 18 sq'

## Sign Message Height

Maximum: 7'-0"

## Sign Posts

Minimum: 3" Round

## Vertical Clearance

Minimum: 2"-6"

## Setback

Minimum: 1' from Back of Curb

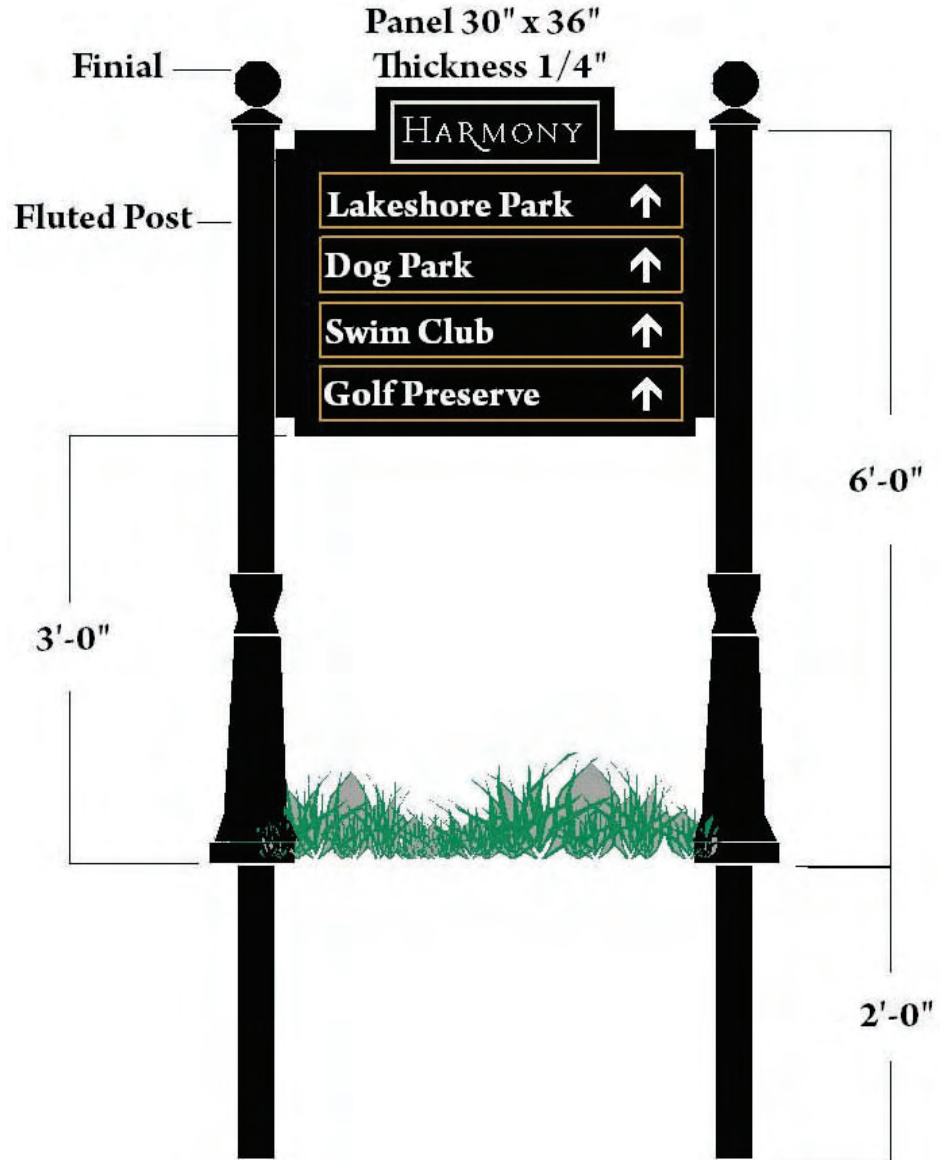
MINIMUM 2" "WHITE" LETTERING

FONT—GOUDY OLD STYLE

1/4" GOLD BANDING/OUTLINE

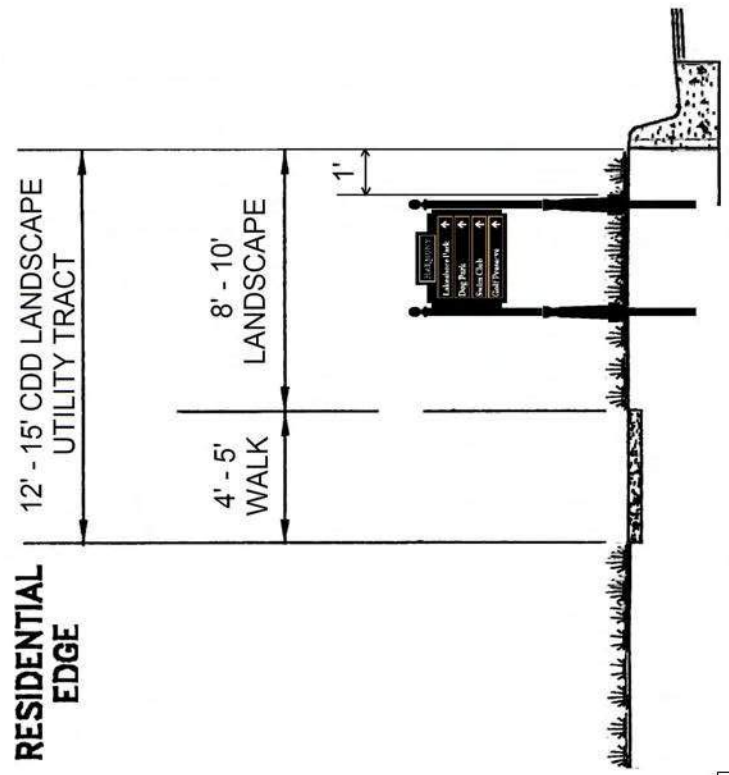
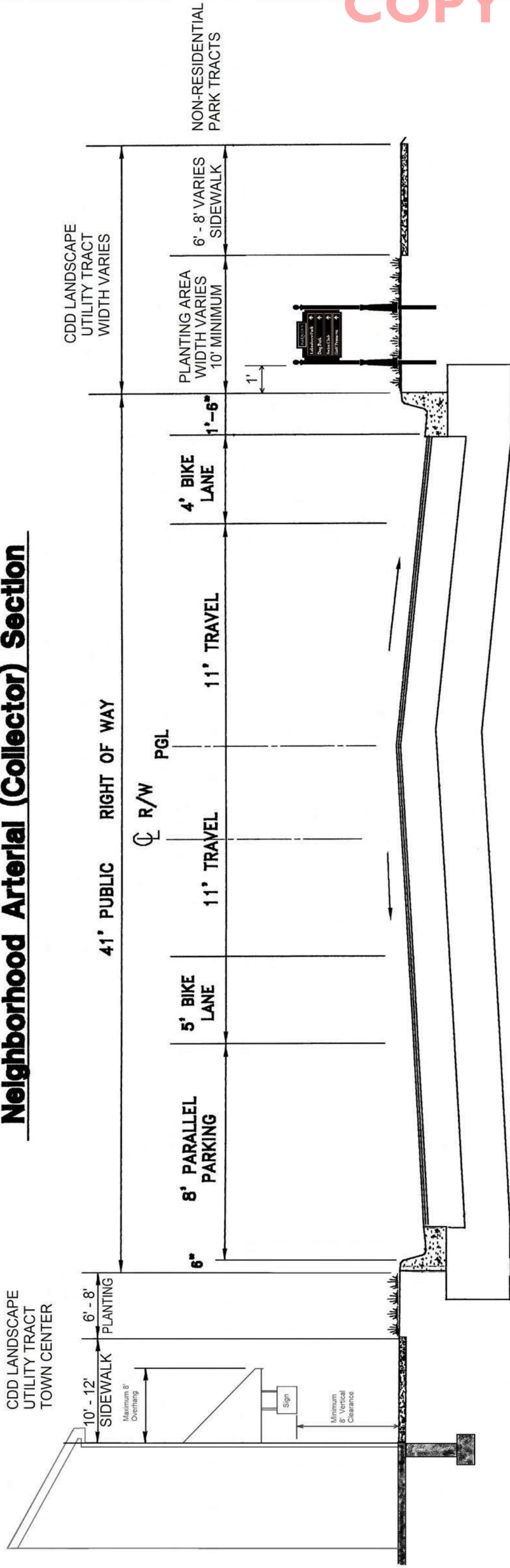
SIGN PANEL—MINIMUM 1/8" THICK ALUMINUM OR SIMILAR MATERIAL PAINTED OR POWDER COATED BLACK

POSTS, BASE AND FINIAL— ALUMINUM OR SIMILAR MATERIAL "BLACK IN COLOR"



# Example of CDD Landscape/Utility Tract / Setback

## Neighborhood Arterial (Collector) Section



COPY

COPY

# COMMUNITY EVENT SIGN

Example of Marketing/Event Signage

## Sign Panel

Maximum: 15 sq'

## Sign Height

Maximum: 4' - 0"

## Vertical Clearance

Minimum: 1'-8"

## Setback from B.O.C

Minimum: 1' - 0"



COPY

# CORNER SIGN

Example of Permanent Commercial Signage

## Sign Panel

Maximum: 80 sq'

## Sign Height

Maximum: 20'-0"

## Sign Width

Maximum: 4'-0"

## Vertical Clearance

Minimum: 12'-0"



COPY

# DEFINING & MEASURING SIGN EXAMPLE

## DEFINING & MEASURING MONUMENT SIGNS



A monument sign usually rests on a full base as illustrated at left, but if the sign face is within 15 inches of the ground and rests on one or two bases as shown in the middle and right illustrations, it will be still be consider a monument sign rather than a pole or pylon sign. For purposes of determining code compliance, minor height variations along the top of the sign amounting to 12 inches or less may be ignored when determining sign height.

COPY

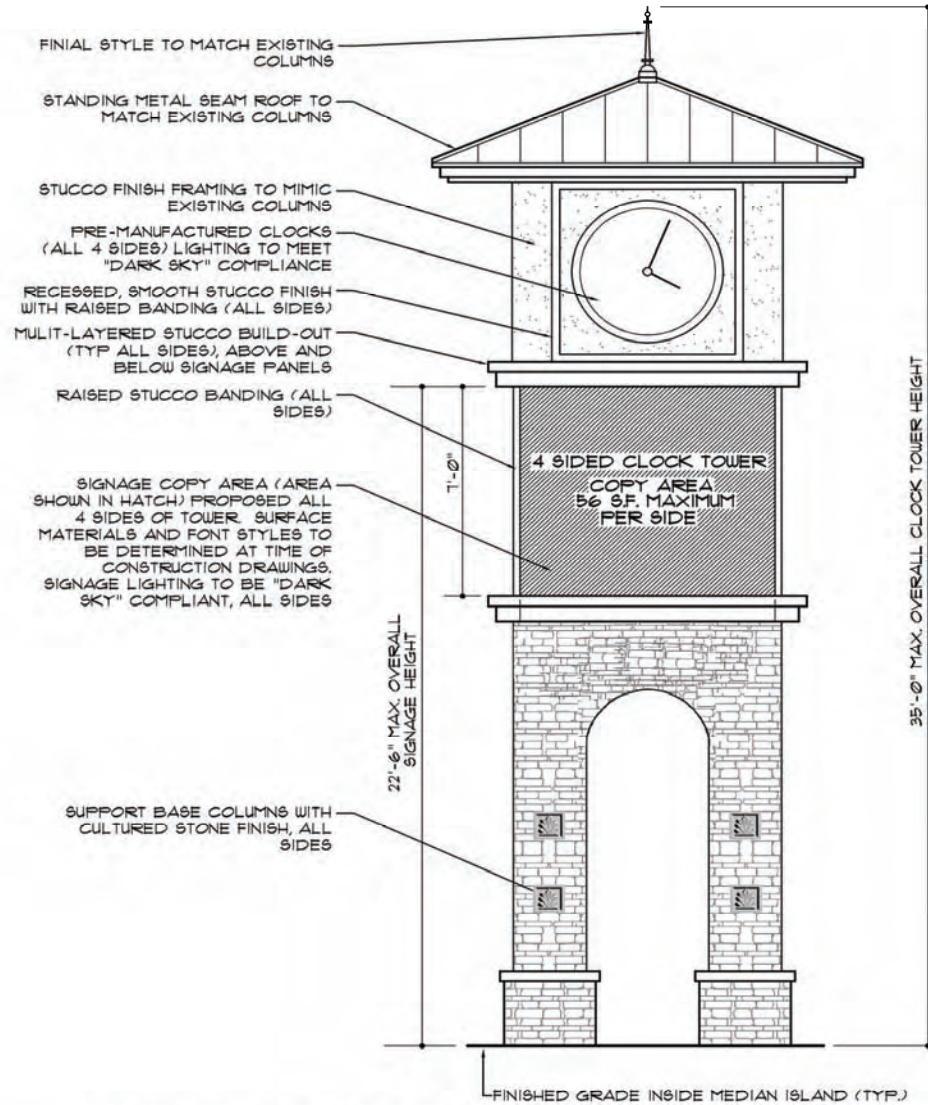
# EXTERNALLY ILLUMINATED SIGN EXAMPLE



E-11

COPY

# ICONIC ENTRY SIGN EXAMPLE



Harmony Four Sided Entry Median Clock Tower

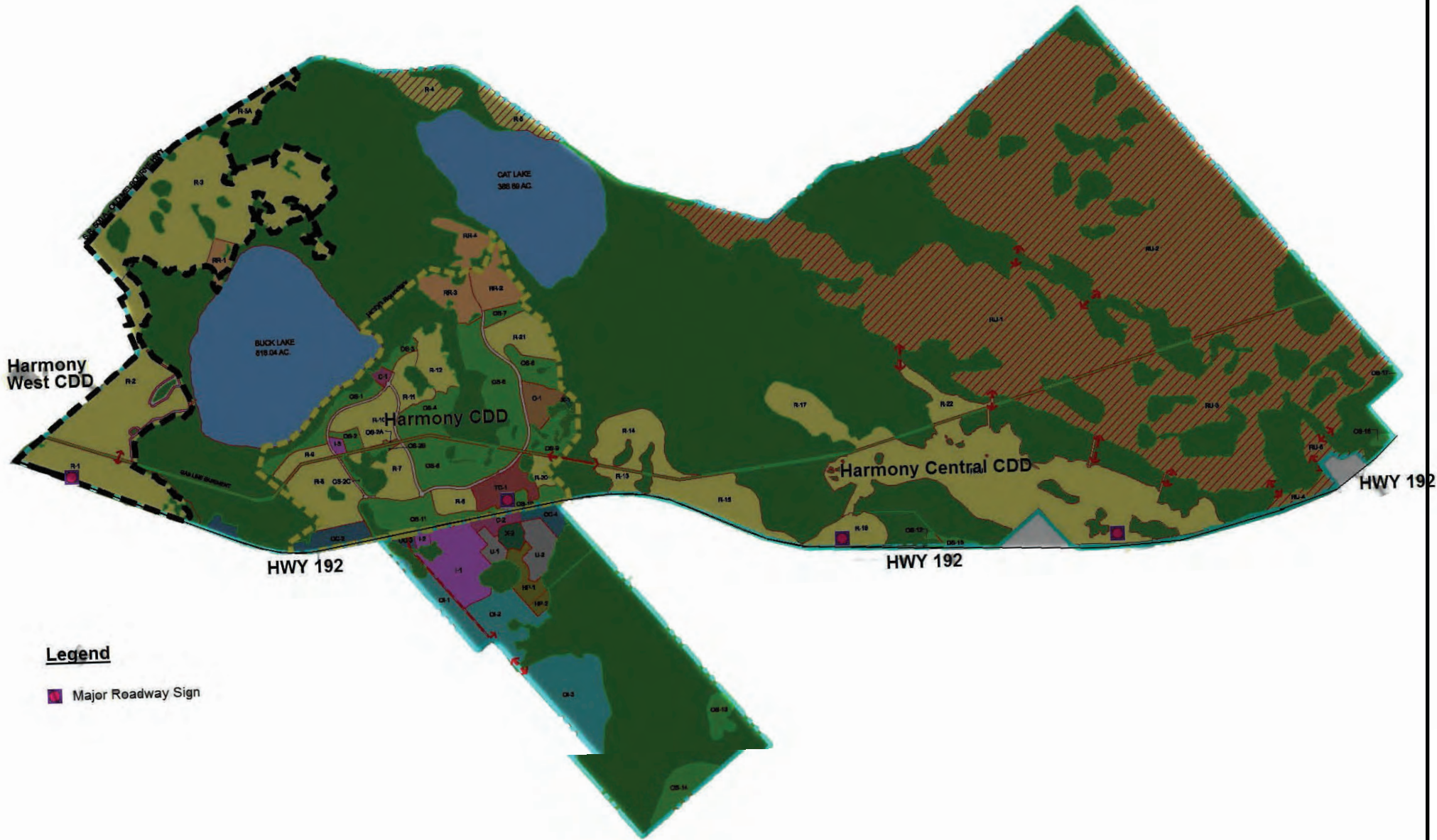
Scale: N.T.S.

EXHIBIT 'D'

E-12



# ICONIC ENTRY SIGNAGE LOCATION MAP



**Legend**

Major Roadway Sign

COPY

# INTERANALLY ILLUMINATED SIGN EXAMPLE

illuminating only a sign message rather than the entire sign background reduces nighttime light pollution and glare while still allowing a message to be read.



Illustration # 1 & 2 simulates a night view of an internally lit box sign that illuminates the background. This type of lighting does not meet Dark Sky requirements and therefore will not be allowed.



Illustration # 3 & 4 simulates night view of an internally lit box sign that only illuminates the sign message. This type of lighting is an acceptable Dark Sky practice and is an allowable use.



Illustration # 5a, 5b show actual signs with internally illuminated channel letters during the day and night.

Illustration # 6 shows another style of internal illumination that is acceptable.



**COPY**

# MAJOR ROADWAY SIGNAGE

DIMINSIONAL EXAMPLE ONLY

## Sign Panel

Maximum: 100 sq'

## Sign Height

Maximum: 20'-0"

## Setback from FDOT R.O.W.

Minimum: 10' - 0"

**DUE TO THE HIGHLY VISIBLE LOCATION OF THESE PROPOSED SIGNS, THE DESIGN SUBMITTED FOR PERMIT WILL INCORPORATE ORNATE ELEMENTS AND SHALL BE ESTETICALLY PLEASING.**

**THE COLOR PALETTE WILL BE CLEAN AND CONTEMPORARY UTILIZING EARTH TONES WITH A GENEROUS AMOUNT OF WHITE SPACE.**

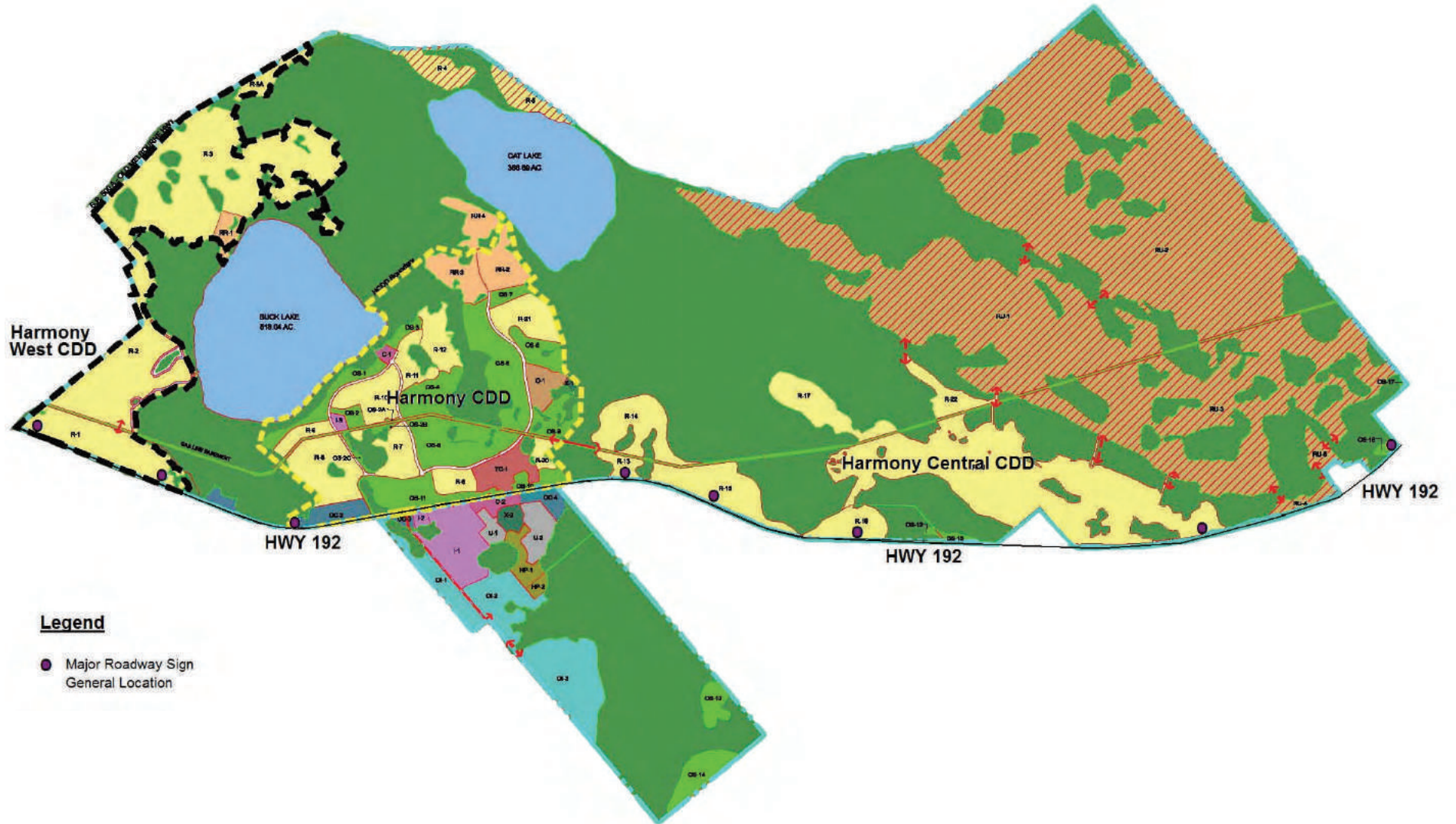


E-15

COPY

# MAJOR ROADWAY SIGNAGE LOCATION MAP

## Example of Permanent Commercial Signage



### Legend

- Major Roadway Sign General Location

COPY

# MONUMENT SIGN

Example of Permanent Signage

## Sign Panel

Maximum: 100 sq' per side

## Sign Height

Maximum: 20'-0"

## Setback from R.O.W

Minimum: 10' - 0"



COPY

# PERFORMANCE/THEATER MARQUEE SIGN

Example of Permanent Commercial Signage

## MARQUEE Sign Panel

Maximum: 1400 sq'

## Sign Height

Maximum: 20'-0"

## Vertical Clearance

Minimum: 8'-0"

## MARQUEE LOGO Sign Panel

Maximum: 60 sq'

## BUILDING Sign Panel

Maximum: 360 sq'

## POSTER BOX DISPLAY

Maximum: 50 sq'

Combined sign types cannot exceed 1400 sq'



COPY

# PROJECT/PLACE SIGN

Example of Temporary Construction Signage

## Sign Panel

Maximum: 32 sq'

## Sign Height

Maximum: 10'-0"

## Sign Posts

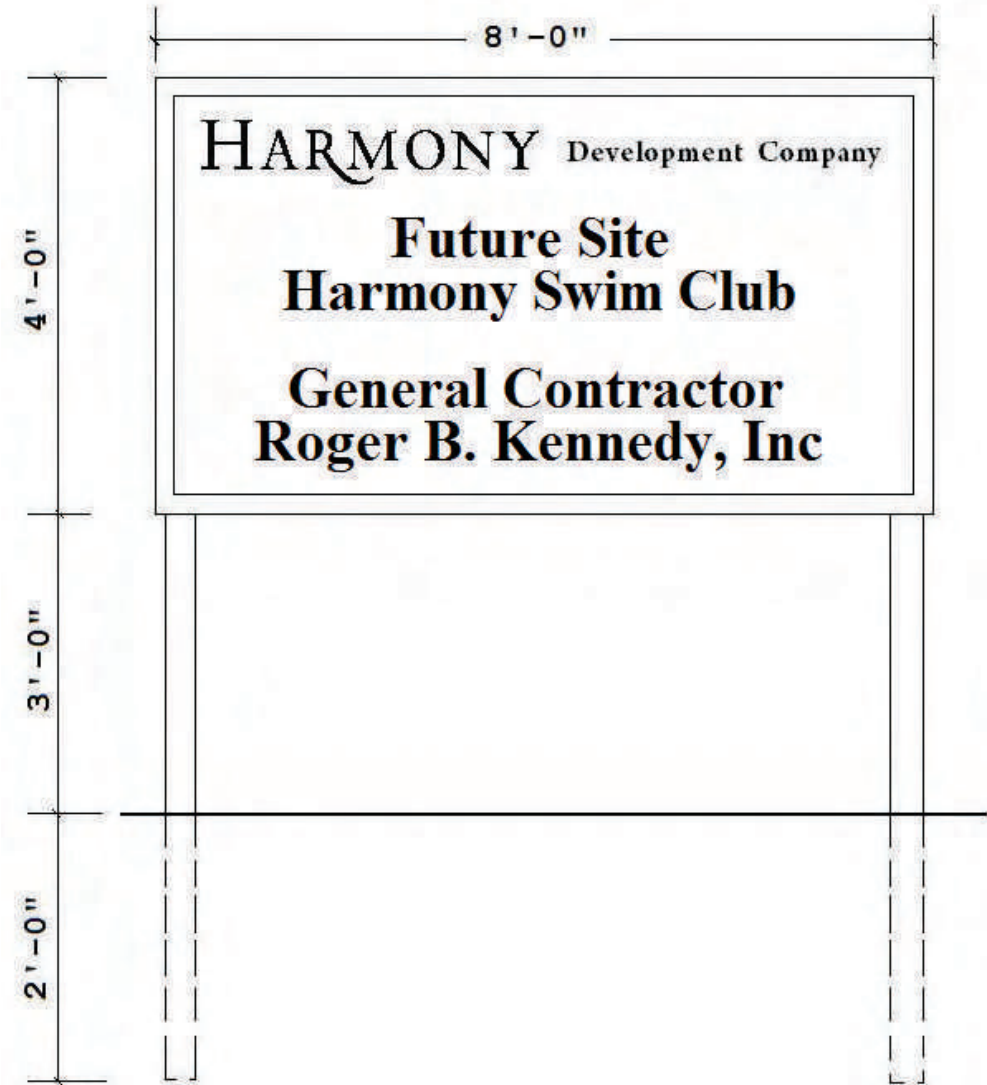
Minimum: 4" x 4"

## Vertical Clearance

Minimum: 3'-0"

## Setback from Property Line

Minimum: 3' - 0"



COPY

# PROJECTING SIGN

Example of Permanent Commercial Signage

## Sign Panel

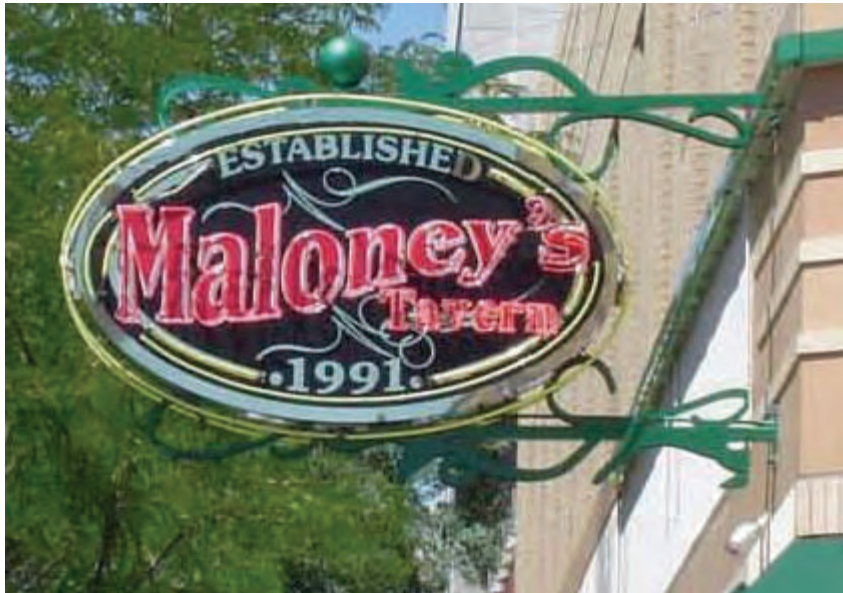
Maximum: 12 sq' per side

## Sign Height

Maximum: 15' - 0"

## Vertical Clearance

Minimum: 8'-0"





COPY

# REALTY OFFERING "A" SIGN

Example of Temporary Real Estate Signage

## Sign Panel

Maximum: 32 sq'

## Sign Height

Maximum 10'-0"

## Sign Posts

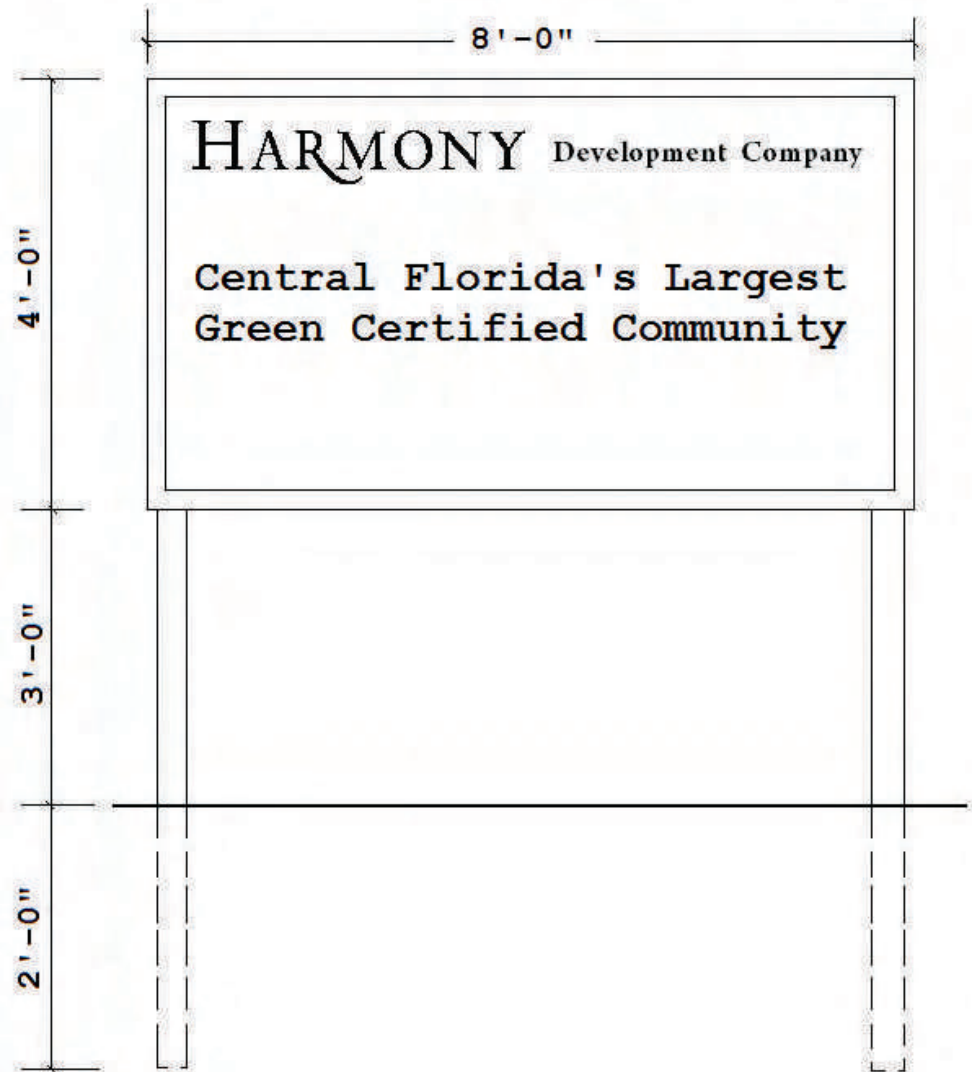
Minimum Size: 4" x 4"

## Vertical Clearance

Minimum: 3'-0"

## Setback from Property Line

Minimum: 3' - 0"



COPY

# REALTY OFFERING "B" SIGN

Example of Temporary Real Estate Signage

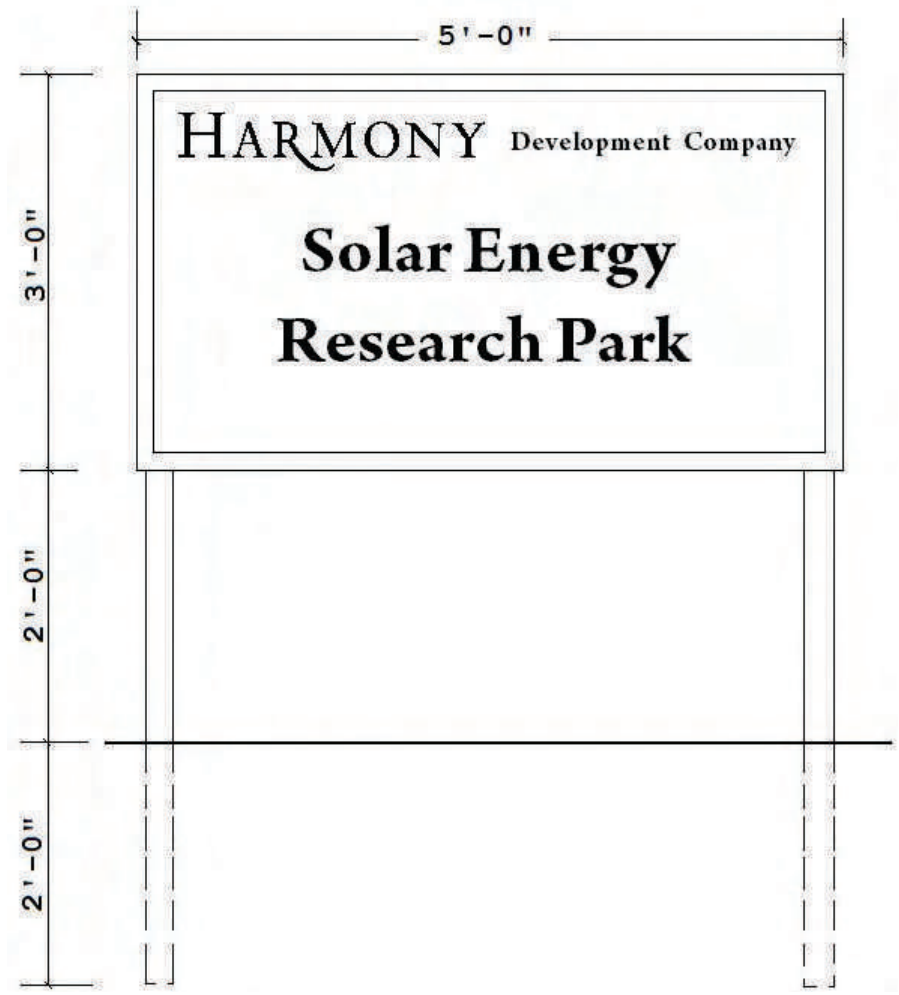
**Sign Panel**  
Maximum: 15 sq'

**Sign Height**  
Maximum: 10' - 0"

**Sign Posts**  
Minimum 4" x 4"

**Vertical Clearance**  
Minimum: 2' - 0"

**Setback from Property Line**  
Minimum: 3' - 0"



COPY

# REALTY OFFERING "C" SIGN

Example of Temporary Real Estate Signage

## Sign Panel

Maximum: 2 sq'

## Sign Height

Maximum 4'-0"

## Setback from CDD L/U Tract

Minimum: 1' - 0"



COPY

# SANDWICH BOARD/A-FRAME SIGN

Example of Temporary Signage

## Sign Panel

Maximum: 10 sq' per side

## Sign Height

Maximum: 4'-0"

## Sign Width

Maximum: 3'-0"



COPY

# STREET SIGN

## Sign Panel

Maximum: 9" x 36"

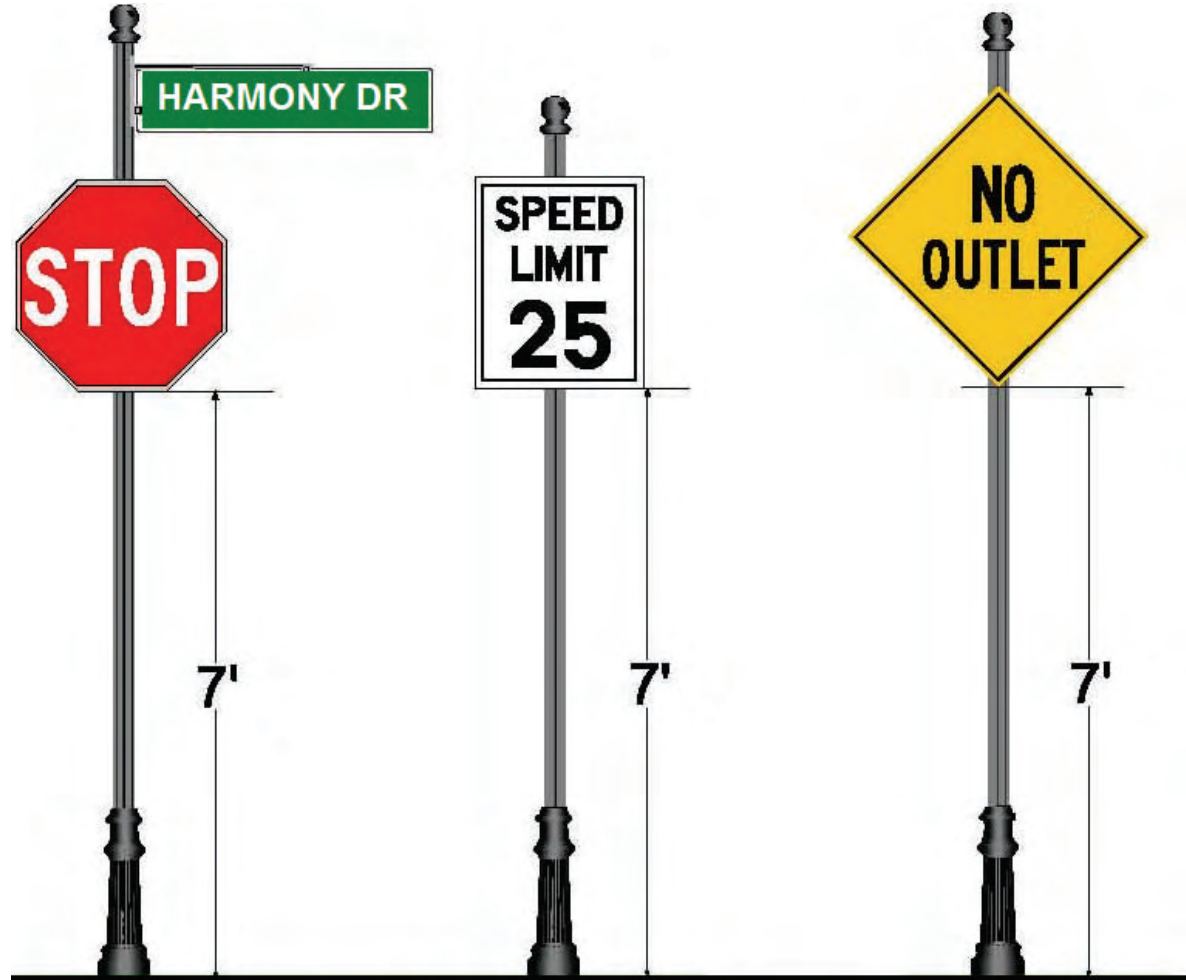
## Vertical Clearance

Minimum: 7'-0"

## Setback from B.O.C

Minimum: 1' - 0"

Example of Permanent Street Signage



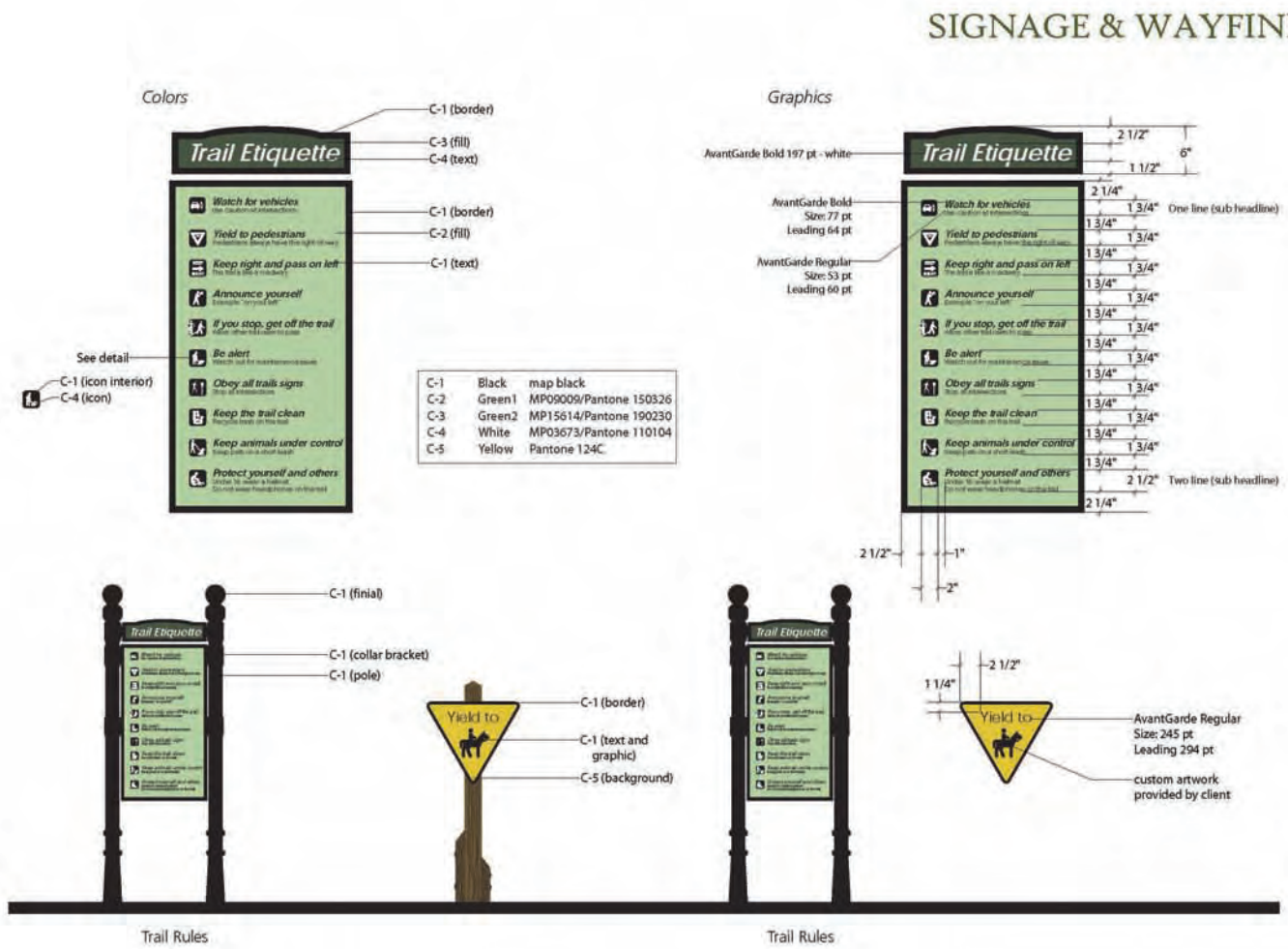
9" X 36" Street Name with cantilever bracket  
3" fluted pole & decorative base

E-25

COPY

# TRAIL / WAYFINDING SIGN SYSTEM

## Examples of Permanent Trail/Wayfinding Signage

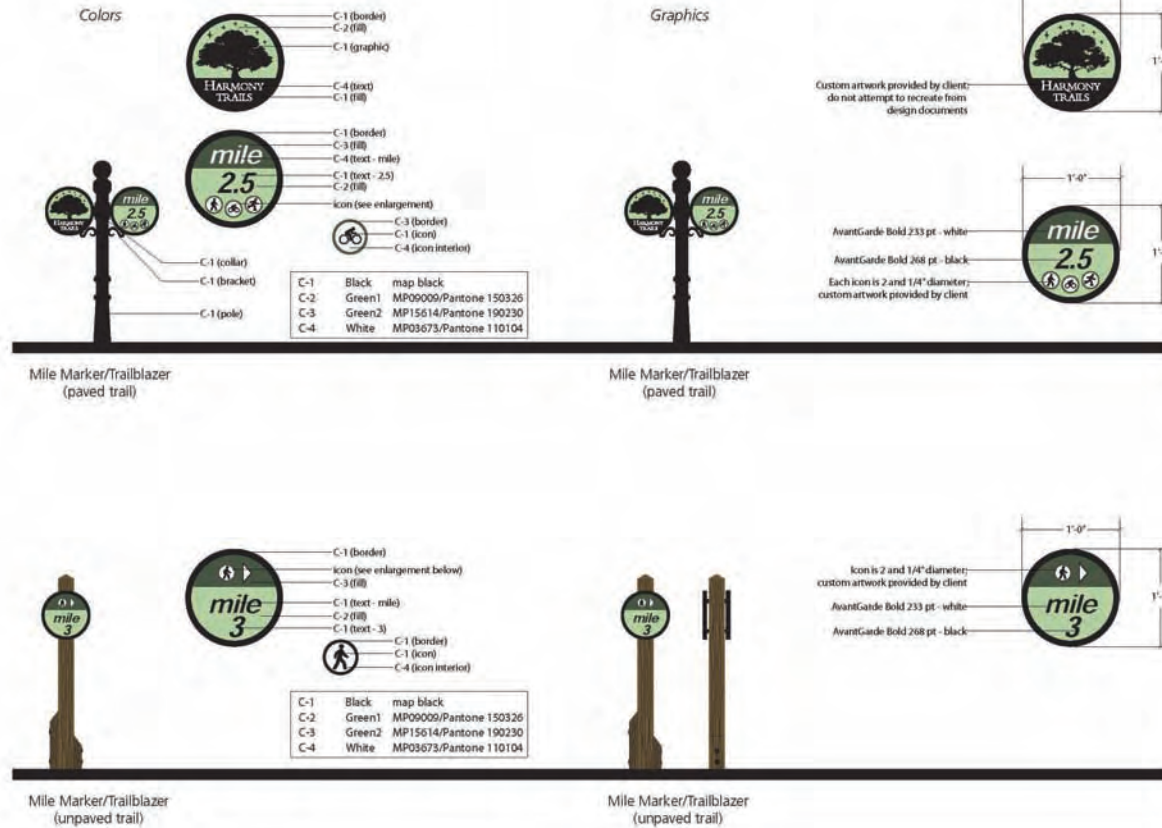


COPY

# TRAIL / WAYFINDING SIGN SYSTEM

## Examples of Permanent Trail/Wayfinding Signage

### SIGNAGE & WAYFINDING SYSTEM



HARMONY TRAIL GUIDELINES — SIGNAGE & WAYFINDING

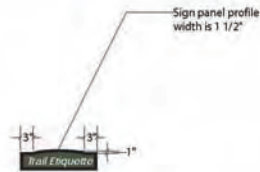
COPY

# TRAIL / WAYFINDING SIGN SYSTEM

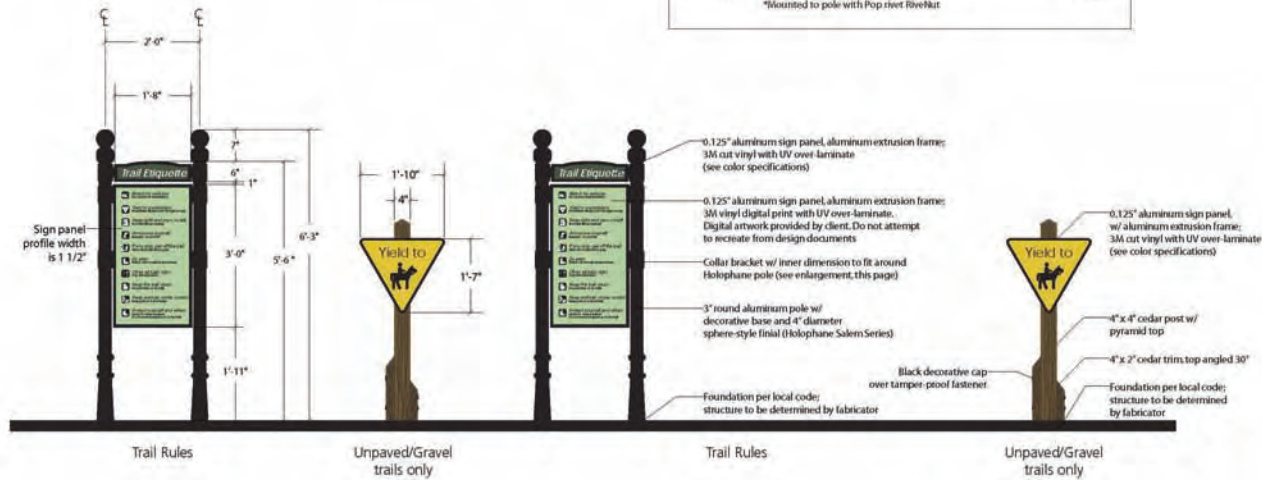
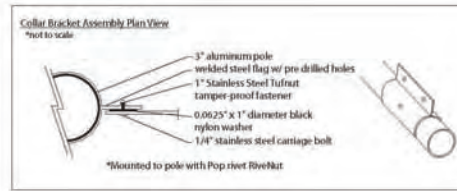
## Examples of Permanent Trail/Wayfinding Signage

### SIGNAGE & WAYFINDING SYSTEM

#### Dimensions



#### Materials



HARMONY TRAIL GUIDELINES — SIGNAGE & WAYFINDING



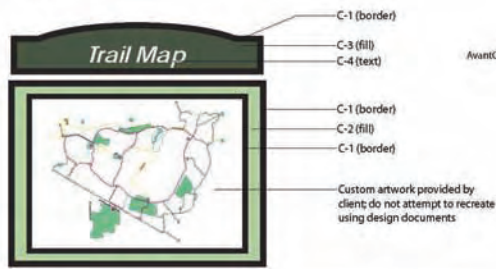
COPY

# TRAIL / WAYFINDING SIGN SYSTEM

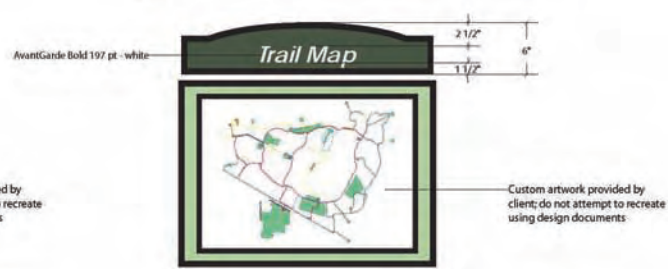
## Examples of Permanent Trail/Wayfinding Signage

### SIGNAGE & WAYFINDING SYSTEM

Colors



Graphics



C-1	Black	map black
C-2	Green1	MP09009/Pantone 150326
C-3	Green2	MP15614/Pantone 190230
C-4	White	MP03673/Pantone 110104



\*\* Actual artwork to be determined

Interpretive/Map Kiosk



\*\* Actual artwork to be determined

Interpretive/Map Kiosk

HARMONY TRAIL GUIDELINES — SIGNAGE & WAYFINDING

COPY

# TRAIL / WAYFINDING SIGN SYSTEM

## Examples of Permanent Trail/Wayfinding Signage

### SIGNAGE & WAYFINDING SYSTEM

Colors



C-1	Black	map black
C-2	Green1	MPO9009/Pantone 150326
C-3	Green2	MP15614/Pantone 190230
C-4	White	MPO3673/Pantone 110104

Graphics



Pedestrian Directional Sign



Pedestrian Directional Sign

HARMONY TRAIL GUIDELINES — SIGNAGE & WAYFINDING

COPY

# UNDER CANOPY SIGN

Example of Permanent Commercial Signage

## Sign Panel

Maximum: 4 sq'

## Sign Height

Maximum: N/A

## Vertical Clearance

Minimum: 8' - 0"



COPY

# WARNING SIGN

## Example of Temporary Construction Signage

### Sign Panel

Maximum: 15 sq'

### Sign Height

Maximum: 10'-0"

### Sign Posts

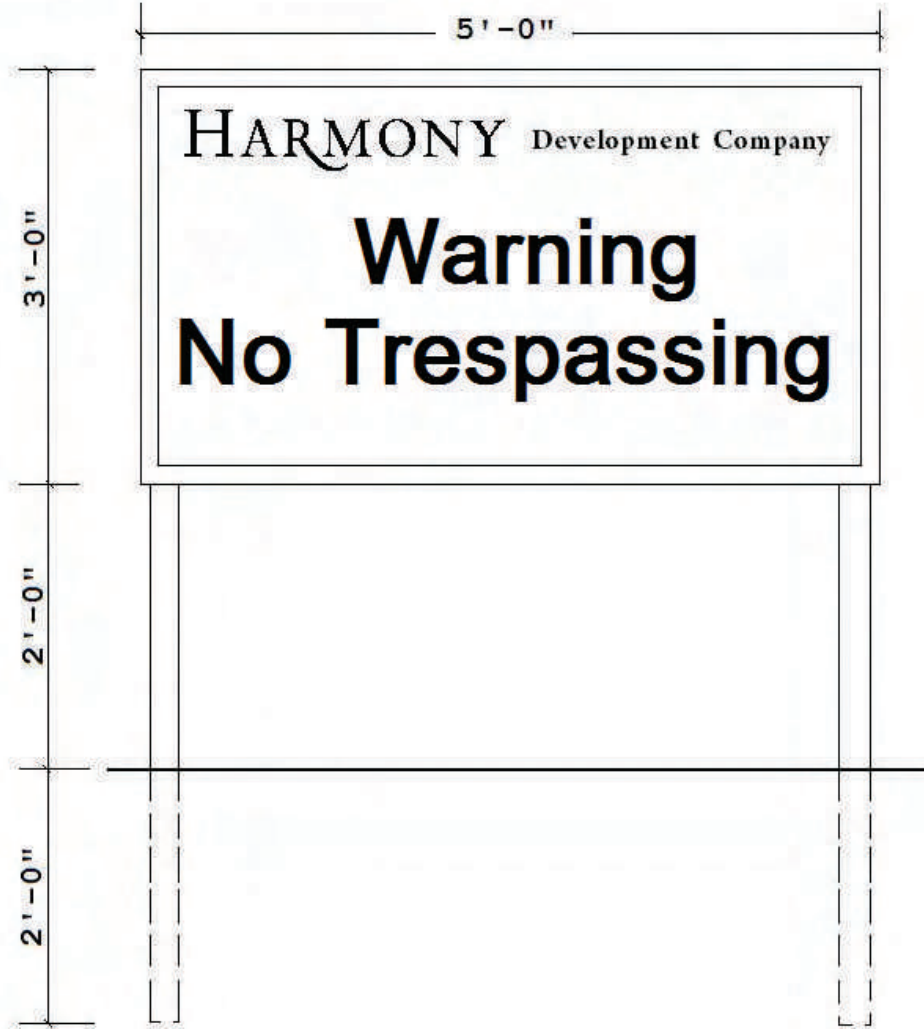
Maximum Size: N/A

### Vertical Clearance

Minimum: 2'-0"

### Setback from Property Line

Minimum: 3' - 0"



# **Existing Signage**

## **Harmony CDD**

H-1, H-2, H-3

## **Harmony Restaurant Facilities**

H-4

## **Harmony Development Co.**

H-5

## **Harmony Golf Preserve**

H-6

COPY

# EXISTING CDD SIGNAGE

**Sign Type**  
Freestanding Wall Sign

**Sign Panel**  
Maximum: 32 sq'

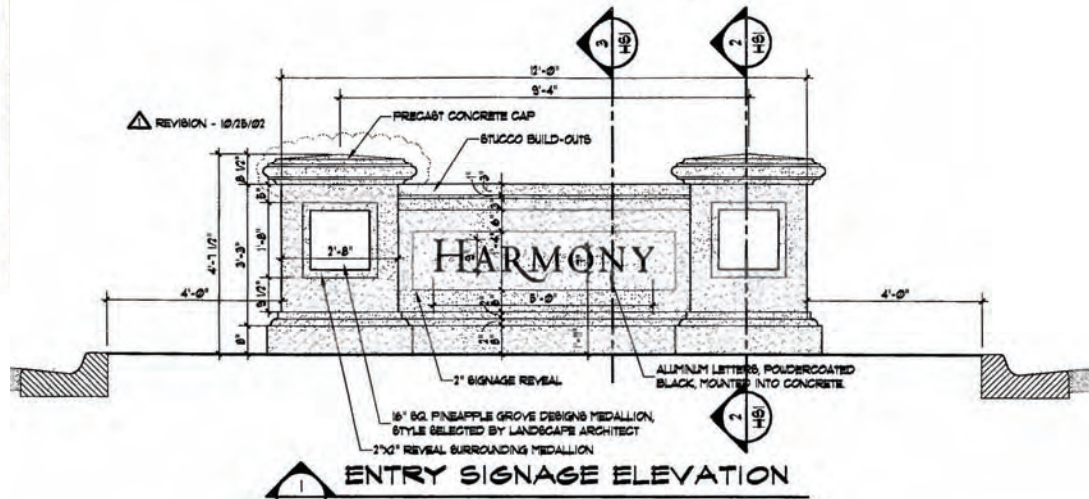
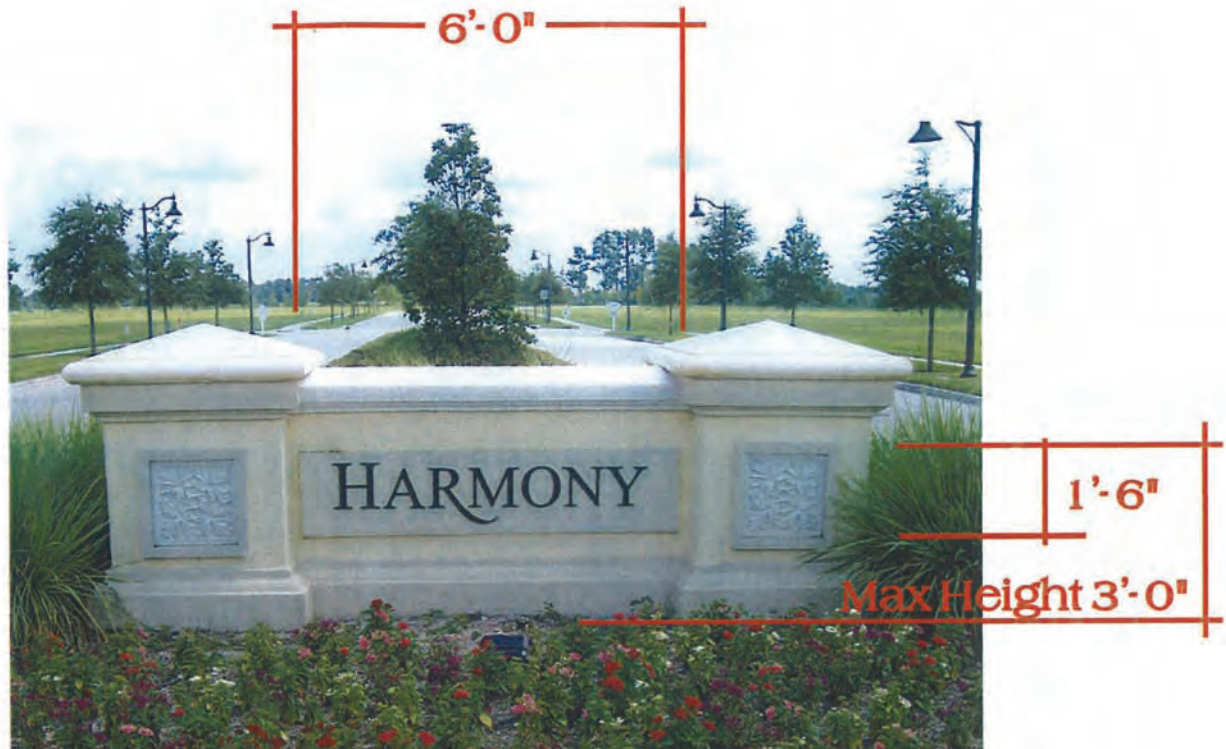
**Sign Height**  
Maximum: 8'-0"

**Vertical Clearance**  
Minimum: N/A

**Setback**  
Minimum: 3' from Back of Curb

**EIP # 04-0097**

**Signage Wall Building Permit #P05-015342**



COPY

# EXISTING CDD SIGNAGE

**Sign Type**  
Freestanding Wall Sign

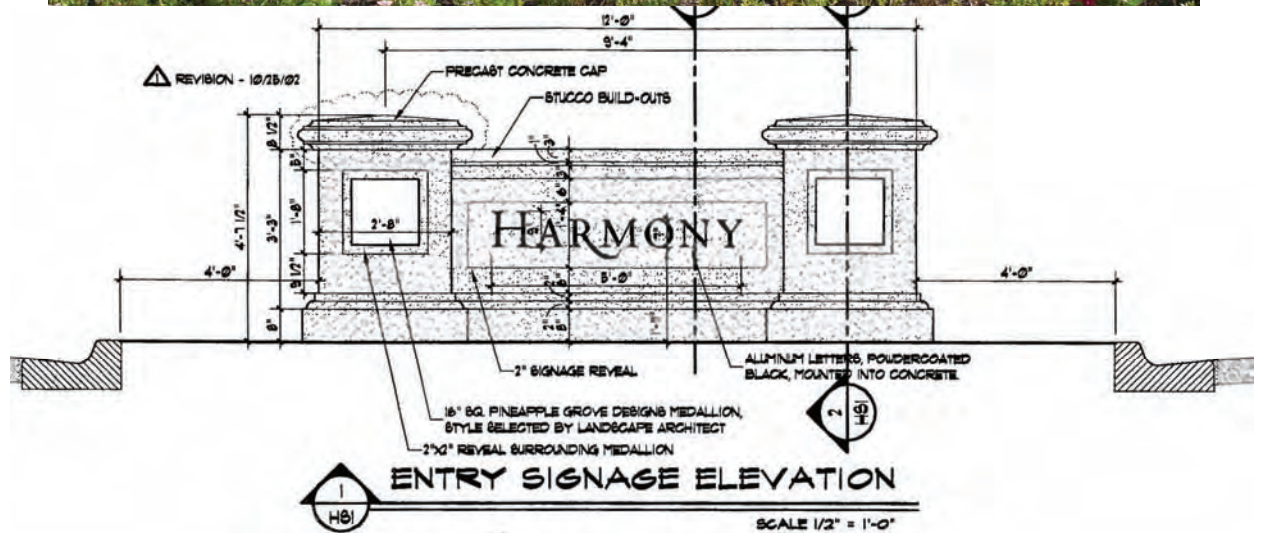
**Sign Panel**  
Maximum: 32 sq'

**Sign Height**  
Maximum: 8'-0"

**Vertical Clearance**  
Minimum: N/A

**Setback**  
Minimum: 3' from Back of Curb

**Building Permit**  
# P02-005067



COPY

# EXISTING CDD SIGNAGE

**Sign Type**  
Freestanding Wall Sign

**Sign Panel**  
Maximum: 32 sq'

**Sign Height**  
Maximum: 8'-0"

**Vertical Clearance**  
Minimum: N/A

**Setback**  
Minimum: 3' from B.O.C.

**Building Permit (Wall)**  
Permit # P07-006779



H-3



COPY

# EXISTING SIGNAGE

## Harmony Restaurant Facilities

### Sign Type

Building Mounted (Flush-mounted Wall Sign)

### Sign Panel

Maximum: 1.25 sq' per 100  
Linear feet

### Sign Height

Maximum: N/A

### Vertical Clearance

Minimum: N/A

### Setback

Minimum: N/A



COPY

# EXISTING SIGNAGE

Harmony Development Company

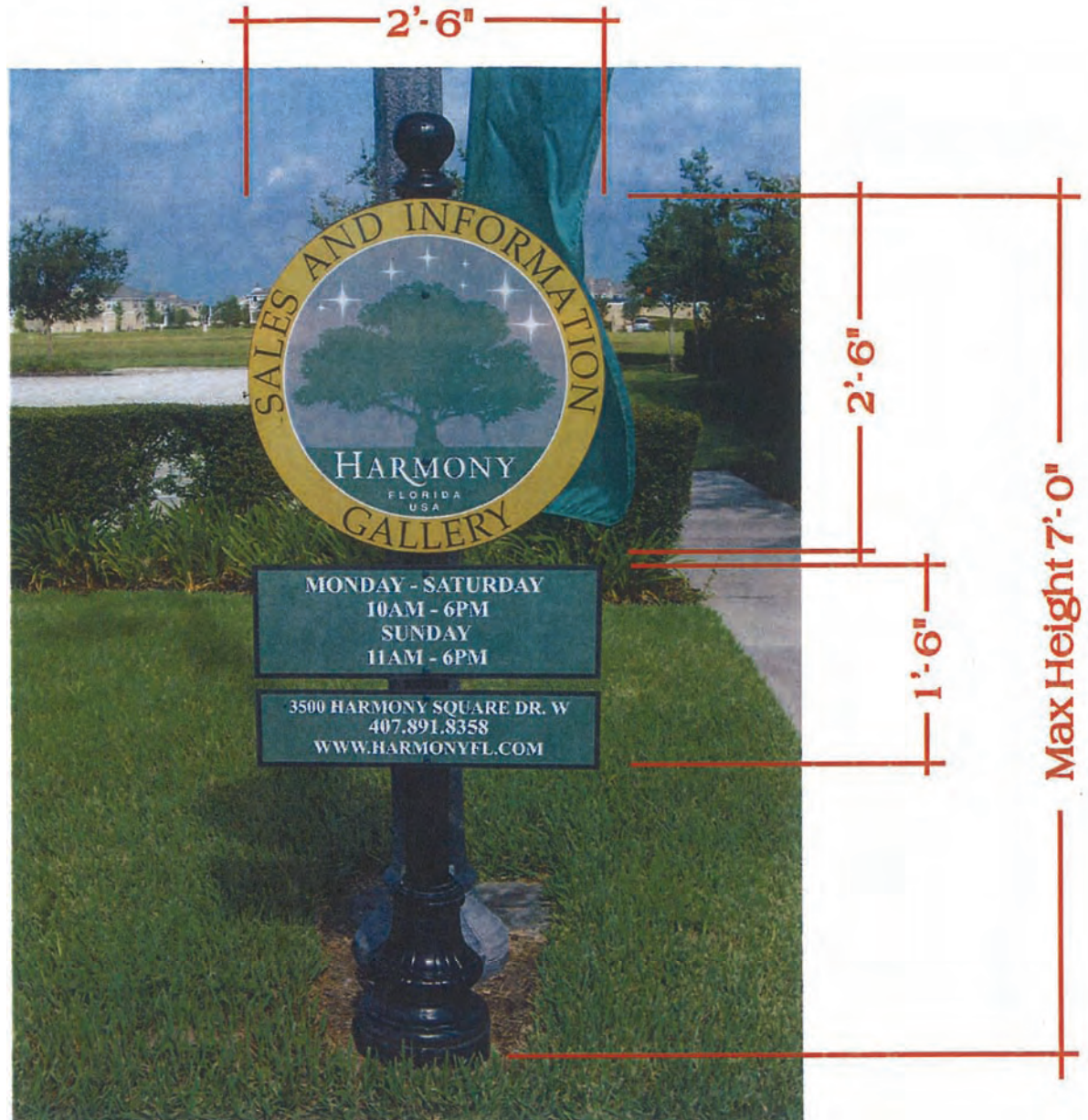
**Sign Type**  
Realty Offering "B"

**Sign Panel**  
Maximum: 15 sq'

**Sign Height**  
Maximum: 10'-0"

**Vertical Clearance**  
Minimum: N/A

**Setback**  
Minimum: 3' from Back of Curb



H-5

COPY

# EXISTING SIGNAGE

Harmony Golf Facilities

**Sign Type**  
Freestanding Ground Sign

**Sign Panel**  
Maximum: 32 sq'

**Sign Height**  
Maximum: 10'-0"

**Vertical Clearance**  
Minimum: 2'-0"

**Setback**  
Minimum: 3' from Back of Curb



H-6

**Harmony  
Planned Development Amendment**

**Exhibit J  
*Water Quality Sampling***

CL 2005017427

OR 2684/

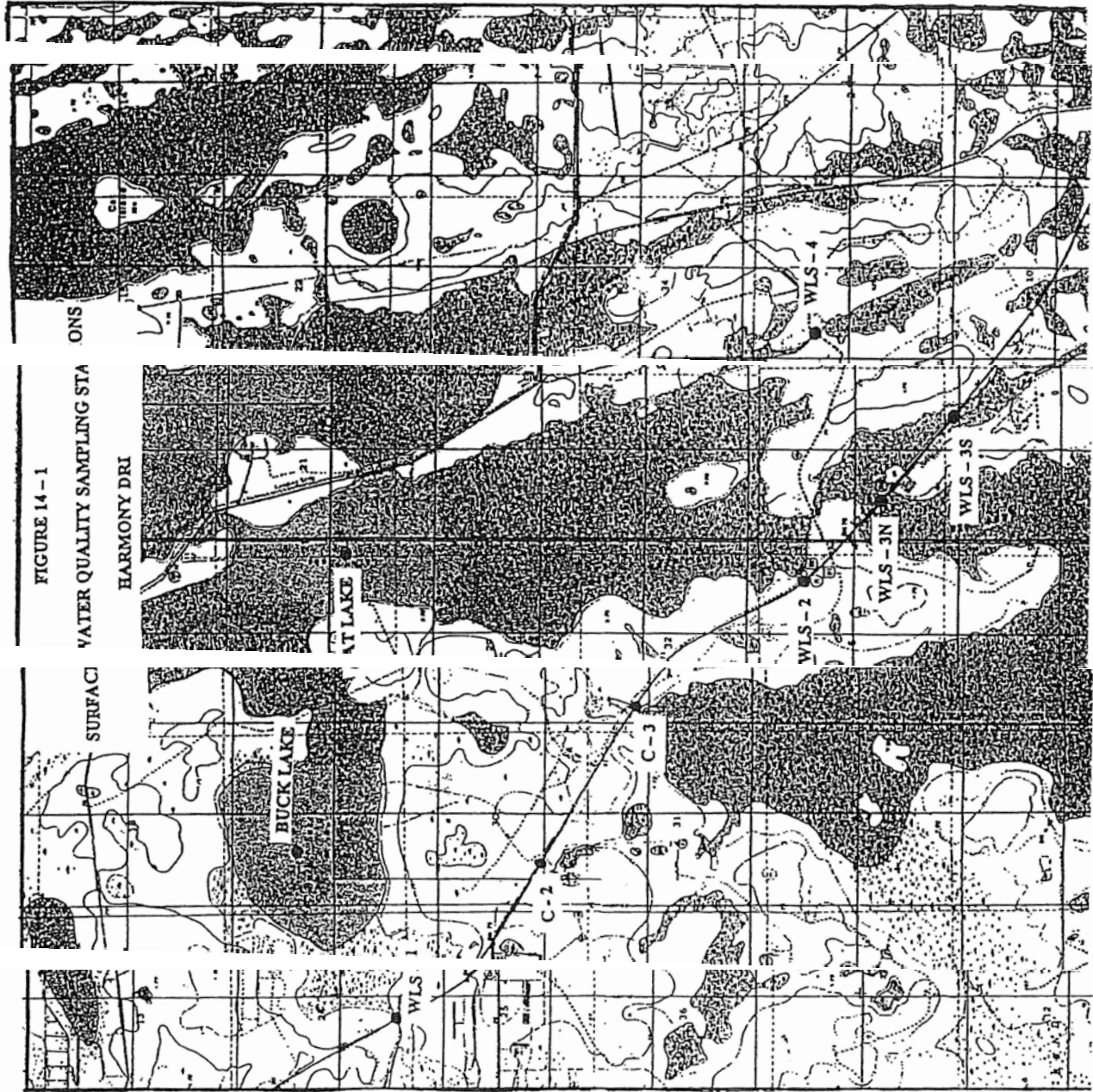


FIGURE 14-1  
WATER QUALITY SAMPLING STA  
HARMONY DRI

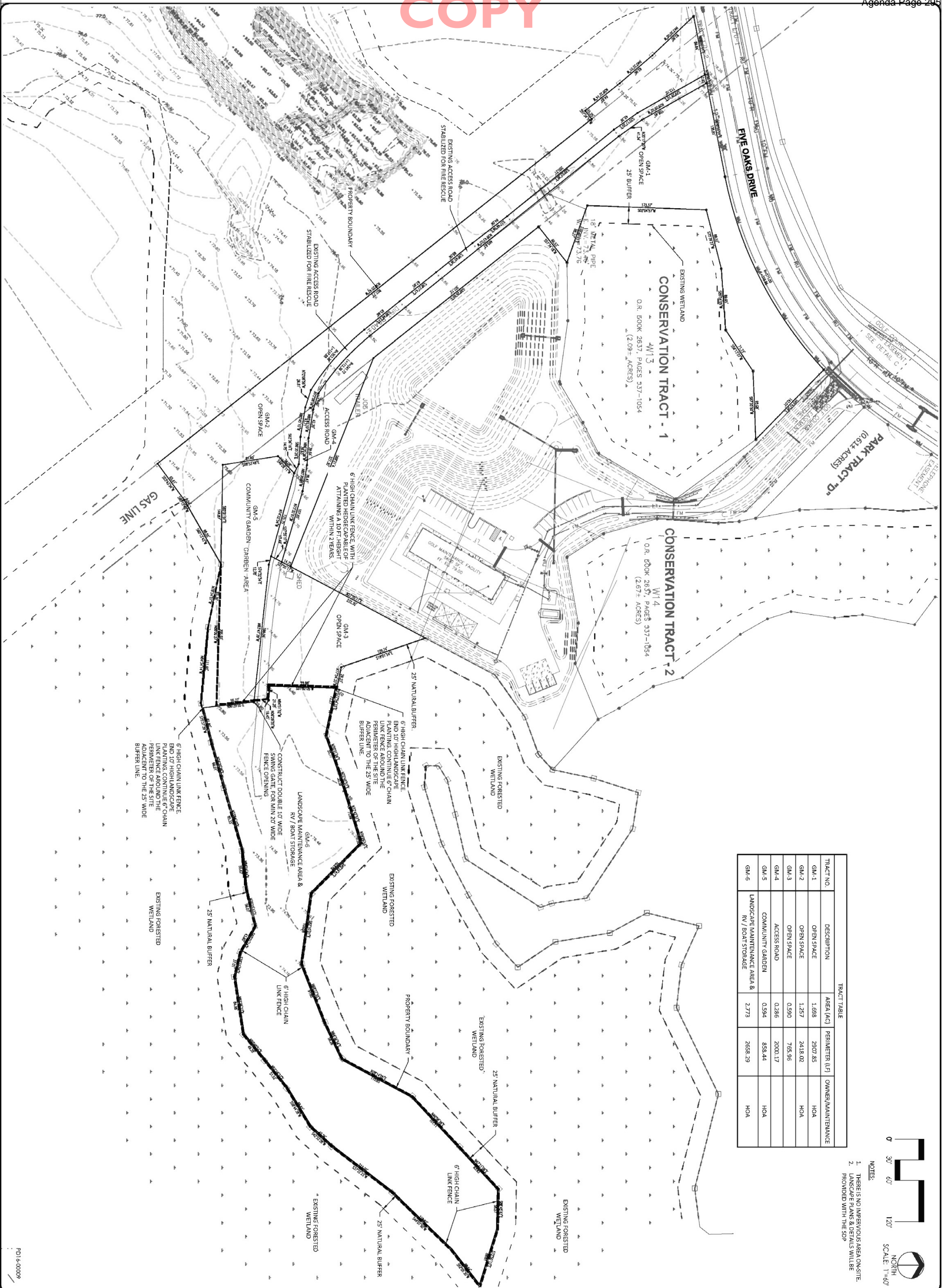
SURFACE

**Harmony  
Planned Development Amendment**

**Exhibit 2**

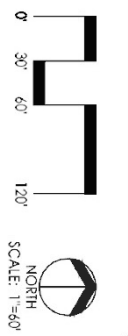
***Maintenance and Storage Facility  
Site Plan and Boundary Survey***

COPY



TRACT TABLE			
TRACT NO.	DESCRIPTION	AREA (AC)	PERIMETER (LF)
GM-1	OPEN SPACE	1.698	2907.85
GM-2	OPEN SPACE	1.257	2418.02
GM-3	OPEN SPACE	0.590	755.96
GM-4	ACCESS ROAD	0.286	2000.17
GM-5	COMMUNITY GARDEN	0.594	858.44
GM-6	LANDSCAPE MAINTENANCE AREA & RV / BOAT STORAGE	2.773	2658.29

- NOTES:
1. THERE IS NO IMPERVIOUS AREA ON-SITE.
  2. LANDSCAPE PLANS & DETAILS WILL BE PROVIDED WITH THE SDP.



**HARMONY GARDENS & RV STORAGE**

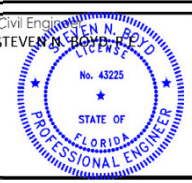
OSCEOLA COUNTY, FLORIDA  
PREPARED FOR: HARMONY CDD

**SITE PLAN WITHOUT AERIAL**

DATE: 11/11/2020  
SCALE: AS SHOWN  
PROJECT NO: 1009.002  
DRAWN BY: RAP  
DESIGNED BY: RKP  
CHECKED BY: SNB

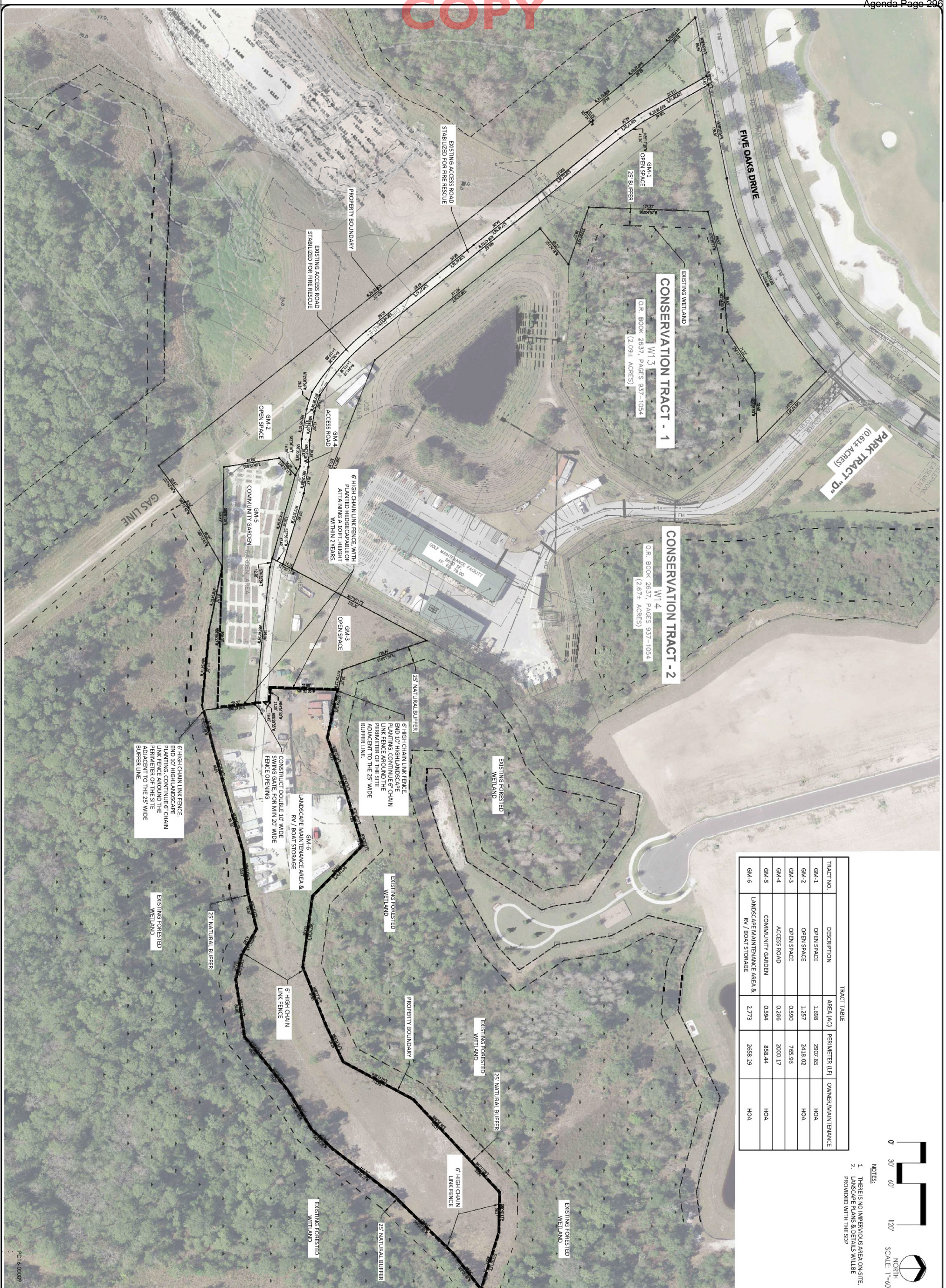
SHEET NO.  
**C2.00**

Rev.	Date	Description	Chk By



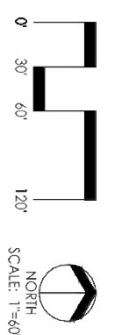
**BOYD CIVIL ENGINEERING**  
6816 Hanging Moss Road  
Orlando, Florida 32807  
Office: (407)494-2693  
Certificate of Auth. 29791

COPY



TRACT TABLE			
TRACT NO.	DESCRIPTION	AREA (AC)	PERIMETER (LF)
GM-1	OPEN SPACE	1,698	2,907.85
GM-2	OPEN SPACE	1,257	2,418.02
GM-3	OPEN SPACE	0,590	755.96
GM-4	ACCESS ROAD	0,286	2,000.17
GM-5	COMMUNITY GARDEN	0,594	858.44
GM-6	LANDSCAPE MAINTENANCE AREA & RV / BOAT STORAGE	2,773	2,658.29

- NOTES:
1. THERE IS NO IMPERVIOUS AREA ON SITE.
  2. LANDSCAPE PLANS & DETAILS WILL BE PROVIDED WITH THE SDP



SHEET NO. **C2.01**

Date: 11/11/2020  
 Scale: AS SHOWN  
 Project No: 1009.002  
 Drawn By: RAP  
 Designed By: RAP  
 Checked By: SNB

**HARMONY GARDENS & RV STORAGE**  
 OSCEOLA COUNTY, FLORIDA  
 PREPARED FOR: HARMONY CDD

**SITE PLAN WITH AERIAL**

Rev. Date Description Chk By

Civil Engineer: **STEVEN N. BOYD**  
 No. 43225  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

**BOYD CIVIL ENGINEERING**  
 6816 Hanging Moss Road  
 Orlando, Florida 32807  
 Office: (407)494-2693  
 Certificate of Auth. 29791



# SKETCH OF DESCRIPTION PARCEL

### LEGAL DESCRIPTION (HOA PARCEL)

Tract-GM, HARMONY PHASE THREE, as Filed and Recorded in Plat Book 20, Pages 120 through 128 of the Public Records of Osceola County, Florida.

### LESS THE FOLLOWING DESCRIBED PARCEL:

Beginning at the Northwest corner of Tract-GM, HARMONY PHASE THREE, as Filed and Recorded in Plat Book 20, Pages 120 through 128 of the Public Records of Osceola County, Florida, thence run the following thirteen (13) courses along the North line of said Tract-GM: thence run S45°43'59"E, a distance of 226.43 feet; thence run S10°45'49"E, a distance of 24.67 feet; thence run S04°43'55"E, a distance of 30.50 feet; thence run S04°11'10"W, a distance of 89.31 feet; thence run S15°43'28"E, a distance of 81.14 feet; thence run S32°36'39"E, a distance of 63.25 feet; thence run N80°15'53"E, a distance of 97.38 feet; thence run S85°40'17"E, a distance of 58.83 feet; thence run N67°48'17"E, a distance of 88.38 feet; thence run S47°56'14"E, a distance of 98.94 feet; thence run S47°36'29"W, a distance of 30.23 feet; thence run S69°54'34"W, a distance of 58.01 feet; thence run S54°36'38"W, a distance of 75.32 feet; thence run S27°55'17"W, a distance of 336.99 feet; thence run N68°21'49"W, a distance of 327.30 feet to a point on the Westerly line of aforesaid Tract-GM; thence run the following nine (9) courses along said Westerly line: N38°25'50"W, a distance of 307.12 feet; thence run N51°34'18"E, a distance of 66.53 feet; thence run N89°11'41"E, a distance of 84.72 feet; thence run S82°11'32"E, a distance of 89.32 feet; thence run N71°02'51"E, a distance of 3.91 feet; thence run N59°31'07"E, a distance of 64.85 feet; thence run N63°03'50"E, a distance of 50.51 feet; thence run N30°30'27"E, a distance of 130.68 feet; thence run N36°36'41"W, a distance of 145.18 feet; thence run N45°43'59"W, a distance of 142.01 feet to a point on a non tangent curve, concave to the Northwest, having a Radius of 571.00 feet and a Central Angle of 08°02'12"; thence run Northeasterly along the arc of said curve, a distance of 80.09 feet (Chord Bearing = N42°48'24"E, Chord = 80.03 feet) to the POINT OF BEGINNING.

Containing 4.39 acres, more or less.

### NOTES

BEARINGS AS SHOWN HEREON ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, (NAD 83, 1990 ADJUSTMENT)  
THIS SURVEYOR HAS NOT MADE A SEARCH OF THE PUBLIC RECORDS FOR EASEMENTS, RESTRICTIONS, RESERVATIONS AND/OR RIGHT OF WAYS  
THIS SKETCH IS NOT INTENDED TO REPRESENT A BOUNDARY SURVEY  
NO CORNERS WERE SET AS A PART OF THIS SKETCH.

REQUESTED BY: SUN TERRA COMMUNITIES, LLC

SEE SHEET 2 OF 3 FOR SKETCH OF DESCRIPTION

DATE OF SKETCH	11/02/17	REVISIONS	
SCALE	1" = 200'		
F.B.	PAGE		
SECTION	29		
TWP.	26 S., RND. 32 E.		
JOB NO.	17-154 TRACT-GM	SHEET 1 OF 3	

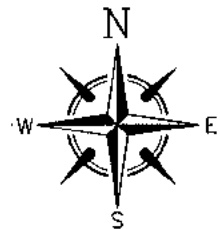
## JOHNSTON'S SURVEYING INC.

900 Shady Lane, Kissimmee, Florida 34744-8695  
Tel. (407) 847-2179 Fax (407) 847-6140

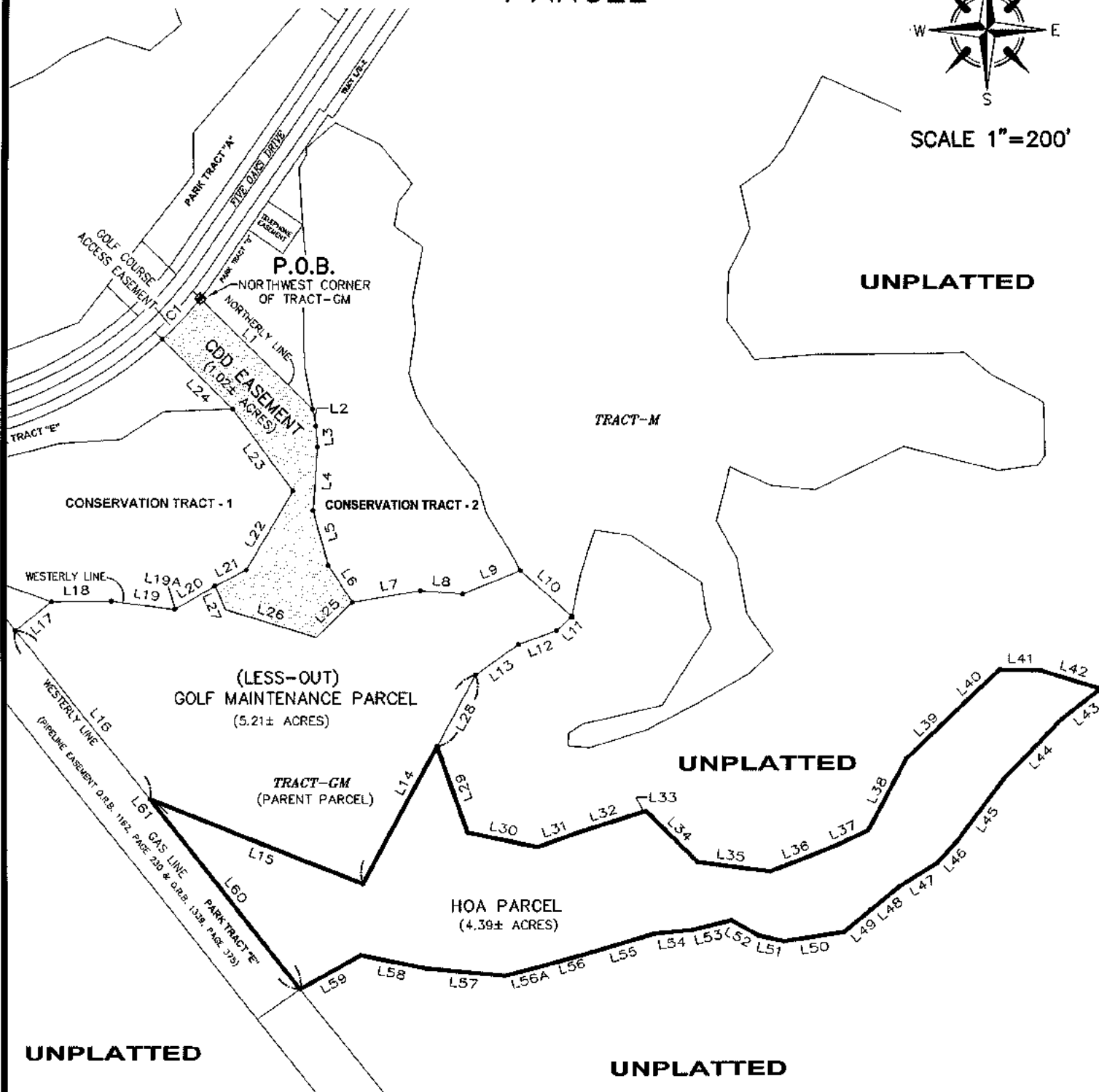
*Richard D. Brown* 11/02/17  
RICHARD D. BROWN, P.S.M. #5700 (DATE)

NOTE: NOT VALID WITHOUT RAISED SURVEYOR'S SEAL.

# SKETCH OF DESCRIPTION PARCEL



SCALE 1"=200'



UNPLATTED

UNPLATTED

### LEGEND

- |        |                                      |          |                                      |
|--------|--------------------------------------|----------|--------------------------------------|
| L.B.   | LICENSED BUSINESS                    | TEL.     | TELEPHONE                            |
| SEC.   | SECTION                              | NO.      | NUMBER                               |
| TWP.   | TOWNSHIP                             | #        | NUMBER                               |
| RNG.   | RANGE                                | P.S.M    | PROFESSIONAL SURVEYOR AND MAPPER     |
| O.R.B. | OFFICIAL RECORDS BOOK                | R.L.S.   | REGISTERED LAND SURVEYOR             |
| PG.    | PAGE                                 | C1       | CURVE NUMBER                         |
| R/W    | RIGHT OF WAY                         | L1       | LINE NUMBER                          |
| Δ      | CENTRAL ANGLE                        | R        | PROPERTY LINE                        |
| R      | RADIUS                               | ●        | DESCRIPTIVE POINT                    |
| L      | LENGTH                               | S.L.I.C. | SEMINOLE LAND & INVESTMENT COMPANY'S |
| CD     | CHORD DISTANCE                       | N&D      | NAIL AND DISK                        |
| CB     | CHORD BEARING                        | ID       | IDENTIFICATION                       |
| FOOT   | FLORIDA DEPARTMENT OF TRANSPORTATION | CM       | CONCRETE MONUMENT                    |
| EXST.  | EXISTING                             | (P)      | PLAT                                 |
| NAD    | NORTH AMERICAN DATUM                 | C.R.     | COUNTY ROAD                          |
| F.B.   | FIELD BOOK                           | P.O.C    | POINT OF COMMENCEMENT                |
| DEPT.  | DEPARTMENT                           | P.O.B    | POINT OF BEGINNING                   |

## JOHNSTON'S SURVEYING INC.

900 Shady Lane, Kissimmee, Florida 34744-8695  
Tel. (407) 847-2179 Fax (407) 847-6140

COPY

## SKETCH OF DESCRIPTION PARCEL

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S45°43'59"E	226.43'
L2	S10°45'49"E	24.67'
L3	S04°43'55"E	30.50'
L4	S04°11'10"W	89.31'
L5	S15°43'28"E	81.14'
L6	S32°36'39"E	63.25'
L7	N80°15'53"E	97.38'
L8	S85°40'17"E	58.83'
L9	N67°48'17"E	88.38'
L10	S47°56'14"E	98.94'
L11	S47°36'29"W	30.23'
L12	S69°54'34"W	58.01'
L13	S54°36'38"W	75.32'
L14	S27°55'17"W	336.99'
L15	N68°21'49"W	327.30'
L16	N38°25'50"W	307.12'
L17	N51°34'18"E	66.53'
L18	N89°11'41"E	84.72'
L19	S82°11'32"E	89.32'
L19A	N72°02'51"E	3.91'
L20	N59°31'07"E	64.85'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L21	N63°03'50"E	50.51'
L22	N30°30'27"E	130.68'
L23	N36°36'41"W	145.18'
L24	N45°43'59"W	142.01'
L25	S45°14'48"W	72.20'
L26	N72°57'58"W	136.35'
L27	N23°12'34"W	37.19'
L28	N27°55'17"E	114.69'
L29	N19°01'54"W	129.74'
L30	N77°54'33"W	101.50'
L31	S70°21'04"W	55.77'
L32	S72°42'57"W	102.22'
L33	S74°25'13"W	7.50'
L34	N45°19'47"W	103.78'
L35	N82°10'01"W	103.08'
L36	S68°27'55"W	91.65'
L37	S64°36'54"W	58.26'
L38	S28°14'05"W	115.85'
L39	S46°58'38"W	101.11'
L40	S47°11'06"W	83.93'
L41	N88°49'47"W	58.57'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L42	N72°50'13"W	88.81'
L43	N52°05'30"E	68.64'
L44	N44°07'50"E	119.97'
L45	N37°22'23"E	111.30'
L46	N42°33'28"E	42.26'
L47	N58°44'38"E	66.21'
L48	N51°16'37"E	51.52'
L49	N50°40'51"E	49.28'
L50	N81°15'27"E	84.98'
L51	S76°31'06"E	37.01'
L52	S60°21'14"E	43.60'
L53	N76°18'47"E	56.07'
L54	N84°14'44"E	55.67'
L55	N73°54'10"E	95.33'
L56	N74°20'26"E	68.80'
L56A	N75°41'19"E	59.00'
L57	S84°34'14"E	111.60'
L58	S78°24'07"E	93.35'
L59	N60°13'43"E	98.55'
L60	N38°25'50"W	346.16'
L61	S38°25'50"E	653.28'

CURVE TABLE					
CURVE #	RADIUS	DELTA	LENGTH	CHD. BEARING	CHORD LENGTH
C1	571.00	8°02'12"	80.09	N42°48'24"E	80.03

**JOHNSTON'S**  
 SURVEYING INC.  
900 Shady Lane, Kissimmee, Florida 34744-8695  
 Tel. (407) 847-2179 Fax (407) 847-6140

**COPY**



**Katrina S. Scarborough, CFA, CCF, MCF**  
**Osceola County Property Appraiser**  
 www.property-appraiser.org  
 Osceola County Government Center  
 2505 East Irlu Bronson Memorial Hwy, Kissimmee, FL 34744  
 Ph: (407) 742-5000 Fax:( 407) 742-4900

**Parcel: 30-26-32-3117-0001-0GM0**



**Owner Information**

<b>Owner Name</b>	HARMONY CDD
<b>Mailing Address</b>	313 CAMPUS ST CELEBRATION, FL 34747
<b>Physical Address</b>	7370 FIVE OAKS DR, SAINT CLOUD FL 34771
<b>Description</b>	RESIDENTIAL COMMON ELEMENTS/AREA VAC
<b>Tax District</b>	300 - OSCEOLA COUNTY

**Tax Values**

Current Values		Certified Values	
<b>Current Value represents working appraised values as of 12/05/2019, which are subject to change prior to certification</b>		<b>Certified Value represents certified values that appeared on the tax roll as of 10/02/2019</b>	
Land	\$2	Land	\$2
AG Benefit	\$0	AG Benefit	\$0
Extra Features	\$0	Extra Features	\$0
Buildings	\$0	Buildings	\$0
Appraised(just)	\$2	Appraised(just)	\$2
Assessed(estimated)	\$2	Assessed*	\$2
Exemption(estimated)	\$0	Exemption	\$0
Taxable(estimated)	\$2	Taxable	\$2
* Assessed Values Reflect Adjustments for Agricultural Classification and/or the Save Our Homes Cap		* Assessed Values Reflect Adjustments for Agricultural Classification and/or the Save Our Homes Cap	

**Sales Information**

Seq	ORB-Pg	Price	Date	Deed Type
0	5294-1323	\$100	2018-02-15	SW
1	5214-1789	\$24,250,000	2017-09-27	SW

**Land Information - Total Acreage: 4.39**

Land Description	Units	Depth	Land Type	Land Value
RURAL ACREAGE	4.39	0.00	AC	\$65,900

**Legal Description**

**Legal Description** HARMONY PHASE 3 PB 20 PGS 120-128 TRACT GM FUTURE DEVELOPMENT LYING IN SEC 29 LESS BEG AT NE COR OF TRACT GM, S 46 DEG E 226.43 FT, S 11 DEG E 24.67 FT, S 05 DEG E 30.50 FT, S 04 DEG W 89.31 FT, S 16 DEG E 81.14 FT, S 33 DEG E 63.25 FT, N 80 DEG E 97.38 FT, S 86 DEG E 58.83 FT, N 68 DEG E 88.38 FT, S 48 DEG E 98.94 FT, S 48 DEG W 30.23 FT, S 70 DEG W 58.01 FT, S 55 DEG W 75.32 FT, S 28 DEG W 336.99 FT, N 68 DEG W 327.30 FT, N 38 DEG W 307.12 FT, N 51 DEG E 66.53 FT, N 89 DEG E 84.72 FT, S 82 DEG E 89.32 FT, N 71 DEG E 3.91 FT, N 59 DEG E 64.85 FT, N 63 DEGE 50.51 FT, N 30 DEG E 130.68 FT, N 37 DEG W 145.18 FT, N 46 DEG W 142.01 FT TO NON-TAN CURVE, CONC NW, RAD 571 FT, CENT ANG 08 DEG, (CH BEARING N 43 DEG E 80.03 FT), NELY ALONG CURVE 80.09 FT TO POB